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Architects/Planners

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June 29, 2017

PROJECT: City of Sterling Heights – Dodge Park Improvements

Sterling Heights, MI

DMA PROJECT NO: 16078A

ADDENDUM NO: 1

ADDENDUM CONTENTS: Three (3) written pages.

Four (4) Architectural Sheets (T001, T002, AMP-A1.4 and AMP-

A7.0)

Seven (7) City of Sterling Heights Engineering Standard Detail

**Sheets for Civil Work** 

000115 List of Drawings Specification Section (4 Pages)

004113 Bid Proposal Form (11 Pages)

**ISSUE DATE: June 29, 2017** 

The following clarifications, revisions and/or additions to the Plans and Specifications are issued before the award of the construction contract and are to be included with the original Drawings and Specifications. This addendum shall take precedence over the original issued Drawings and Specifications and shall be referred to hereinafter as part of the Contract Documents.

The bidder shall acknowledge the receipt of this Addendum by signing this Addendum and enclosing it in the submission of their bids, and completing the Addenda section of the 004113 Bid Proposal Form. Failure to acknowledge Addendum No. 1 on page 2 of 11 of the 004113 Bid Proposal Form in the submission of bids may be justification for the bid proposal being rejected as non-responsive.

06/29/17

## **RESPONSE:**

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## DRAWING/SPECIFICATION REVISIONS, CLARIFICATIONS OR ADDITIONS:

## **Architectural Drawing Revisions:**

- 1. Sheet T001: Updated Addendum #1 issuance date on title block.
- 2. Revised sheet T002 to indicate sheets AMP-A1.4 and AMP-A7.0 have been included in Addendum #1.
- 3. Revised sheet index layout on sheet T002 to accommodate and indicate various issuances of drawings.
- 4. Revised sheet T002 to indicate the correct sheet numbers and sheet descriptions for sheets AMP-A7.0 and AMP-A7.1. The Bids set issued 6-19-17 included Sheet AMP-A7.1 Room Schedule and Door Schedule, but the sheet descriptions and sheet numbers for Sheet AMP-A7.0 and Sheet AMP-A7.1 were incorrectly described on the sheet index for the Bids set.

## **Civil Engineering Drawing Revisions:**

- 1. City of Sterling Heights Standard Details Soil Erosion sheet 1 of 1 has been added to the set and included on the sheet index (T002) .
- 2. City of Sterling Heights Standard Details Notes sheet 1 of 7 has been added to the set and included on the sheet index (T002).
- 3. City of Sterling Heights Standard Details Sanitary sheet 2 of 7 has been added to the set and included on the sheet index (T002).
- 4. City of Sterling Heights Standard Details Storm sheet 4 of 7 has been added to the set and included on the sheet index (T002)...
- 5. City of Sterling Heights Standard Details Storm sheet 5 of 7 has been added to the set and included on the sheet index (T002)..
- 6. City of Sterling Heights Standard Details Watermain sheet 6 o 7 has been added to the set and included on the sheet index (T002)..
- 7. City of Sterling Heights Standard Details Watermain sheet 7 of 7 has been added to the set and included on the sheet index (T002)..

## **Specification Revisions:**

1. Modified the 000115 List of Drawings section to include the following Civil Engineering Sheets: City of Sterling Heights Standard Details Soil Erosion sheet 1 of 1, City of Sterling Heights Standard Details Notes sheet 1 of 7, City of Sterling Heights Standard Details Sanitary sheet 2 of 7, City of Sterling Heights Standard Details Storm sheet 4 of 7, City of Sterling Heights Standard Details Storm sheet 5 of 7, City of Sterling Heights Standard Details Watermain sheet 6 of 7, City

- of Sterling Heights Standard Details Watermain sheet 7 of 7. These items have been **bolded** on the Index of Drawings.
- 2. Modified the 000115 List of Drawings section to indicate the correct sheet numbers and sheet descriptions for sheets AMP-A7.0 and AMP-A7.1. These items have been **bolded** on the Index of Drawings.

## **Contract Provisions:**

1. Page 2 of 11 of the 004113 Bid Proposal Form was revised to acknowledge this Addendum and an additional page was added to the 004113 Bid Proposal Form due to space limitations.

## RECEIVED AND ACKNOWLEDGED BY:

Company:	 	
Signature:	 	
Printed Name:		
Title:		
Date:		



# STERLING HEIGHTS PARKS & RECREATION

DORCHEN/MARTIN

# Sterling Heights DODGE PARK IMPROVEMENTS

MICHAEL C. TAYLOR

MAYOR

BARBARA A. ZIARKO

MAYOR PRO-TEM

DEANNA KOSKI

GARY LUSK

MARIA G. SCHMIDT

NATE SHANNON

LIZ SIERAWSKI

CITY COUNCIL

MARK D. VANDERPOOL

CITY MANAGER

DENICE GERSTENBERG

CITY DEVELOPMENT DIRECTOR

KYLE LANGLOIS

PARKS AND RECREATION DIRECTOR



# **ARCHITECT:**

DORCHEN/MARTIN ASSOCIATES, INC. 29895 GREENFIELD ROAD SUITE 107 SOUTHFIELD, MICHIGAN 48076

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# **CIVIL ENGINEERS:**

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# LANDSCAPE ARCHITECT:

FELINO PASCUAL & ASSOCIATES 24333 ORCHARD LAKE RD., SUITE G FARMINGTON HILLS, MICHIGAN 48336

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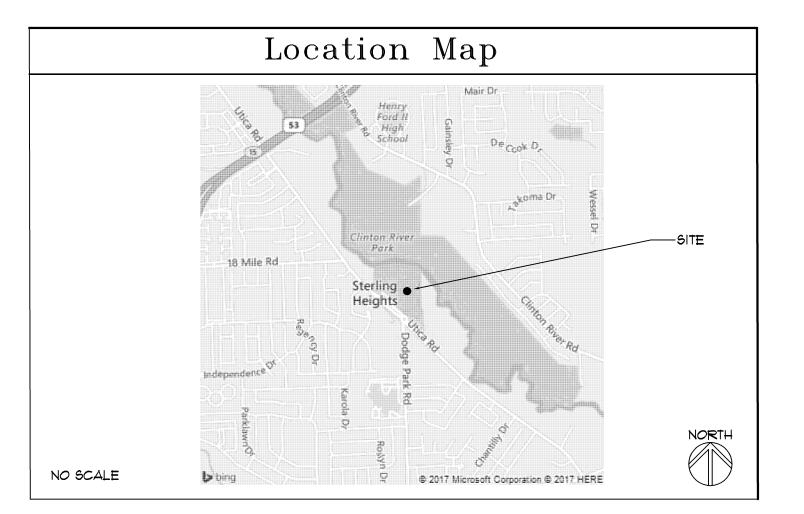
# MEP ENGINEERS:

STRATEGIC ENERGY SOLUTIONS 4000 WEST 11 MILE ROAD BERKLEY, MICHIGAN 48072 248.399.1900 PH 248.399.1901 FAX

PH

# STRUCTURAL ENGINEER:

JOHNSTON DESIGN, INC. 114 WOMPOLE DRIVE CLARKSTON, MI 48346 248.620.6489 248.625.9530 FAX



# Construction Notes

- OR OF CONSTRUCTION WITHIN CITY RIGHTS-OF-WAY
- 2) ALL CONSTRUCTION SHALL CONFORM TO THE CURRENT STANDARDS AND SPECIFICATIONS OF THE CITY OF STERLING HEIGHTS WHICH ARE INCLUDED AS PART OF THESE PLANS.
- 3) AFTER THE COMPLETION OF CONSTRUCTION OF PUBLIC UTILITIES OR CONSTRUCTION WITHIN CITY RIGHTS-OF-WAY, THE CONTRACTOR MUST REQUEST A FINAL INSPECTION. ANY PUNCHLIST ITEMS RESULTING FROM THE FINAL INSPECTION MUST BE RESOLVED PRIOR TO FINAL RELEASE AND ACCEPTANCE.
- 4) THE EXISTING UTILITIES INDICATED ON THIS PLAN ARE IN ACCORDANCE WITH AVAILABLE INFORMATION. IT SHALL BE THE CONTRACTOR'S OBLIGATION TO VERIFY THE EXACT LOCATION OF ALL EXISTING UTILITIES THAT MIGHT AFFECT THIS JOB.
- 5) THE CONTRACTOR SHALL NOTIFY 'MISS DIG", AT 1-800-MISS-DIG OR 1-800-482-7171, AT LEAST 3 WORKING DAYS PRIOR TO THE START OF CONSTRUCTION.
- 6) THE CONTRACTOR SHALL AT ALL TIMES BE AWARE OF INCONVENIENCE CAUSED TO THE ABUTTING PROPERTY OWNERS AND GENERAL PUBLIC. WHERE UNDUE INCONVENIENCES ARE NOT REMEDIED, BY THE CONTRACTOR, THE CITY, UPON FOUR HOURS NOTICE, RESERVES THE RIGHT TO PERFORM THE NECESSARY WORK AND DEDUCT THE COST THEREFORE FROM THE MONEY DUE THE CONTRACTOR
- 6) DURING CONSTRUCTION THE CONTRACTOR SHALL PROVIDE WATCHMEN AND FLAGMEN AS MAY BE REQUIRED FOR THE SAFETY AND CONVENIENCE OF THE PUBLIC AND SHALL FURNISH BARRICADES, SIGNS, AND LIGHTS NECESSARY TO PROTECT THE PUBLIC. TRAFFIC SHALL BE MAINTAINED AT ALL TIMES UNLESS OTHERWISE AUTHORIZED BY THE CITY OF STERLING HEIGHTS. TRAFFIC CONTROL SHALL BE IN ACCORDANCE WITH THE MICHIGAN MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES, 1994 EDITION BY THE MICHIGAN DEPARTMENT OF STATE
- 1) IN CASES WHERE DETOUR ROADS ARE NECESSARY, TRAFFIC SHALL BE ROUTED OVER ROADS AS DIRECTED BY THE CITY OF STERLING HEIGHTS. IN ALL CASES, THE DETOUR ROADS SHALL BE MAINTAINED WITH DUST CONTROL AND GRADING AS REQUIRED BY THE ENGINEER.
- 8) EXISTING ROADS USED AS HAUL ROUTES SHALL BE APPROVED BY THE CITY OF STERLING HEIGHTS AND THE CONTRACTOR SHALL MAINTAIN THEM WITH GRADING AND DUST CONTROL AS REQUIRED BY THE ENGINEER
- 9) THE CONTRACTOR IS TO PROVIDE ADEQUATE DUST CONTROL WHEN SUCH A PROBLEM HAS BEEN CAUSED BY HIS CONSTRUCTION OPERATIONS. DUST CONTROL METHODS MUST MEET APPROVAL OF THE CITY.
- 10) ALL PROPERTY IRONS AND MONUMENTS DISTURBED, OR DESTROYED BY THE CONTRACTOR'S OPERATIONS SHALL BE REPLACED BY A REGISTERED LAND SURVEYOR PROVIDED BY THE CONTRACTOR, AT THE CONTRACTOR'S EXPENSE.
- CONTRACTOR SHALL PROVIDE OWNER AND ENGINEER A COPY OF WRITTEN PERMISSION TO USE PRIVATE PROPERTY FOR STORAGE OF EQUIPMENT AND MATERIALS OR FOR HIS CONSTRUCTION OPERATIONS.
- 12) DRIVEWAYS, CULVERTS, DITCHES, DRAIN TILE, TILE FIELDS, DRAINAGE STRUCTURES, ETC., THAT ARE DISTURBED BY THE CONTRACTOR'S OPERATIONS SHALL BE IMMEDIATELY RESTORED.
- 13) ALL ESTABLISHED LAWN AREAS DISTURBED BY THE CONTRACTOR'S OPERATIONS SHALL BE RESODDED WITH MATCHING SOD OR MARION BLUE SOD. ALL OTHER AREAS SHALL BE SEEDED AND MULCHED. SEEDING AND MULCHING SHALL BE DONE IN ACCORDANCE WITH GENERAL SPECIFICATIONS. SEEDING SHALL INCLUDE 4" OF TOPSOIL FOR BOTH FIELD SEEDING AND LAWN SEEDING. PAY ITEM FOR SEEDING INCLUDES A SATISFACTORY GROWTH OF SEED. IF FOR WHATEVER REASON, THE SEED DOES NOT "CATCH" THE FIRST TIME, THEN THE CONTRACTOR IS OBLIGATED TO COME BACK AND RESEED THE AREA AT NO ADDITIONAL COST UNTIL PERMANENT GROWTH IS ESTABLISHED.
- 14) ALL UTILITY POLES IN CLOSE PROXIMITY TO CONSTRUCTION SHALL BE SUPPORTED IN A MANNER SATISFACTORY TO THE UTILITY OWNER.
- 15) DRIVE CULVERTS, WHICH ARE REMOVED OR DESTROYED BY THE CONTRACTORS OPERATIONS, SHALL BE REPLACED WITH A MINIMUM OF 24 FEET OF 12-INCH CORRUGATED METAL PIPE WITH END SECTIONS. THE EXISTING CULVERT MAY BE REUSED IF IT MEETS CITY STANDARDS.



issue / revision date Prelim. Review 3-21-17 Prelim. Review 5-16-17 Prelim. Review 6-7-17 City Review 6-19-17 Bids

/i\ 6-29-17 Addendum #1

checked by

sheet title project



29895 Greenfield Rd., Suite 107 Southfield, Michigan 48076 (248) 557-1062 Fax: (248) 557-1231

sheet no. 16078A T001

# Project Data GOVERNING CODES: \_\_ - 2015 MICHIGAN BUILDING CODE 2015 MICHIGAN MECHANICAL CODE 2015 MICHIGAN PLUMBING CODE 2015 INTERNATIONAL FUEL GAS CODE MICHIGAN ELECTRICAL CODE BASED ON 2008 N.E.C. WITH PART 8 STATE AMENDMENTS 2009 ICC/ANSI AIIT.I FOR ACCESSIBILITY & MICHIGAN BARRIER FREE DESIGN LAW OF PUBLIC ACT 1 OF 1966 AS AMENDED. 2015 INTERNATIONAL FIRE CODE AMPHITHEATHER USE GROUP: \_\_\_\_ - MIXED USE - ASSEMBLY A-1 STORAGE S-2 BUILDING CONSTRUCTION TYPE: TYPE II-B NON-COMBUSTIBLE UNPROTECTED ALLOWABLE BUILDING AREA: BASED ON A-1 = 8,500 S.F. BUILDING AREA: TOTAL AREA = 5,566 S.F. ASSEMBLY A-1 = 2,366 S.F. BUSINESS = 3,200 S.F. ALLOWABLE BUILDING HEIGHT: BASED ON A-1 = 55 FEET BUILDING HEIGHT: \_\_\_\_\_ \_\_\_ 3Ø FEET OCCUPANCY LOAD: ----ASSEMBLY A-1 = 2,366 S.F. / 15 NET = 158 PERSONS BUSINESS = 3200 S.F. / 100 GROSS = 32 PERSONS TOTAL = 190 PERSONS NUMBER OF EXITS: ----- 2 REQUIRED 3 PROVIDED FARMERS MARKET USE GROUP: \_\_\_\_\_ ASSEMBLY A-3 BUILDING CONSTRUCTION TYPE: TYPE II-B NON-COMBUSTIBLE UNPROTECTED ALLOWABLE BUILDING AREA: \_\_\_\_\_\_9500 S.F. + OPEN PERIMETER INCREASE (7,125 S.F.) = 16,625 S.F. BUILDING AREA: TOTAL AREA = 13,729 S.F. AREA 2 (OPEN FARMERS MARKET / ICE RINK) = 13,729 S.F. ALLOWABLE BUILDING HEIGHT: \_\_\_\_\_ 65 FEET BUILDING HEIGHT: \_\_\_\_\_\_ 32 FEET AREA 2 = 13,729 S.F. / 50 GROSS = 275 PERSONS

TOTAL OCCUPANCY = 287 PERSONS

- 2 REQUIRED

13 PROVIDED

NUMBER OF EXITS: ----

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	•	• (	(TOO1 TOO2	Cover Sheet  Sheet Index/Project Data
		•	AØØ1	Barrier Free Standards
		•	A002 M0.0	General Structural Notes  Mechanical General Information
		•	MT.1	Mechanical Details
		•	M7.2 E0.0	Mechanical Details  Electrical General Information
		•	E7.1	Electrical Details
		•	SPØ1	Site Plan
		•	SPØ2	Keyed Site Notes/Site Amenities
		•	SPØ4	Partial Enlarged Site Plan Partial Enlarged Site Plan
		•	SPØ5	Partial Enlarged Site Plan - Sand Volleyball Courts, Basketball Court, and Pavilion #4
		•	SP06 SP07	Partial Enlarged Site Plan - Mini Soccer Field and Pavilion #3  Partial Enlarged Site Plan - Pavilion #2 and Renovated Restroom Building
		•	SPØS	Partial Enlarged Site Plan - Splash Pad/Park and Pavilion #
		•	5P09 5P10	Partial Enlarged Site Plan - Farmers Market  Partial Enlarged Site Plan - Fire Pit Area and Pavilion #5
		•	5P11	Partial Enlarged Site Plan - Amphitheater
+		•	SP12 SP13	Site Details Site Details - Mini Soccer Field Details
		•	5P14	Site Details - Mini Soccer Field Details  Site Details - Sand Volleyball Court Details
		•	SP15	Site Details - Splash Park Details
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		•	C-Ø	Cover Sheet  Boundary / Topographic / Tree Survey
		•	C-1	Boundary / Topographic / Tree Survey  Boundary / Topographic / Tree Survey
		•	C-3 C-4	Existing Structure Table  Demolition Plan
		•	C-4 C-5	Demolition Plan  Demolition Plan
		•	C-6	Dimensional Site Plan
		•	C-7	Dimensional Site Plan Paving & Grading Plan
		•	C-9	Paving & Grading Plan
		•	C-10 C-11	MDOT MØ730a Detail Utility Plan
		•	C-12	Utility Plan
		•	C-13	Storm and Sanitary Sewer Profiles  Soil Erosion / Sedimentation Control Plan
		•	C-15	Soil Erosion / Sedimentation Control Plan
	•		1 of 1	City of Sterling Heights Standard Details Soil Erosion Plan  City of Sterling Heights Standard Details Notes
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		•	MDØ.2	Mechanical Site Demolition Plan
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		•	EDØ.1	Electrical - Site  Electrical Site Demolition Plan
		•	EDØ.2	Electrical Site Demolition Plan
		•	EØ.1	Electrical Site New Work Plan  Electrical Site New Work Plan
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			LS-1	Landscape Overall Landscape Planting View
		•	LS-2	Landscape Planting Detail
		•	LS-3 LS-4	Landscape Planting Detail  Plant Material List, Planting Details, and Landscape Notes
		•	L9-4 L9-5	Landscape Planting Detail - Paving Pattern
				Pavilion #1, 4 \$ 5
		•	PAV145- <u>A</u> 1	Floor Plan, Foundation Plan and Details
				Pavilion *2
			PAV2-AI	Floor Plan, Foundation Plan and Details
		•	<b>≡</b> 1.1	Electrical New Work Plan
				Pavilion *3
			PAV3-A1	Floor Plan, Foundation Plan and Ceiling Plan
			PAV3-A2 PAV3-A3	Building Elevations  Wall Sections
		•	PAV3-A4	Interior Elevations  Mechanical New Work Plans
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APP-A36   Roch Pening Plan					•		AMP-A1.4	Roof Plan
APP-A31   Eviloring Elevations	-					•		
APP-A32   Bulloing Elevations						•		
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APP-A13 Ricor Finish Plain	_					•		
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PH-AI2   Floor Plan   Reflected Ceiling Plan   PH-AI3   Reflected Ceiling Plan   PH-AI3   Reflected Ceiling Plan   PH-AI3   Phase Plan   Phase Plan   PH-AI3   Phase Plan   Phase Plan   PH-AI3   Phase Plan   Phase P		-				•	<del> </del>	
PM-A14   Roof Plan   Plant						•	FM-A1.2	Floor Plan
## PM-A2.1 Enlarged Floor Plan ## PM-A3.1 Building Elevations ## PM-A3.2 Building Elevations ## PM-A3.2 Building Elevations ## PM-A4.1 Building Sections ## PM-A5.1 Wall Sections ## PM-A5.1 Wall Sections ## PM-A5.1 Interior Elevations ## PM-A5.1 Electrical New Work Plan (Splash Park) ## PM-A5.2 Electrical New Work Plan (Splash Park) ## PM-A5.3 Electrical New Work Plan (Splash Park) ## PM-A5.4 Electrical Elevations ## PM-A5.4		-	_			•		
Pt-A3  Building Elevations   Pt-A3  Building Elevations   Pt-A3  Building Elevations   Pt-A4  Building Sections   Pt-A4  Building Sections   Pt-A5  Wall Sections   Pt-A5  Wall Sections   Pt-A5  Wall Sections   Pt-A5  Wall Sections   Pt-A5  Plumbing New Work Plan   Pt-A5  Pt-A5  Plan   Pt-A5  Pt-		_				•		
PM-A4.  Building Sections   PM-A5.  Wall Sections						•		Building Elevations
FM-A5.I Wall Sections     FM-A5.I Door Schedule     FM-A5.I Interior Elevations     FM-A6.I Plumbing New Work Plan     FM-A6.I Floor Plan, Bellectrical New Work Plan     FM-A6.I Electrical New Work Plan     Tickst Booth     TB-A1 Floor Plan, Foundation Plan, Reflected Ceilling Plan, Roof Plan and Structural Notes     TB-A2 Building Elevations and Sections     TB-A3 Wall Sections and Details     M4.1 Mechanical New Work Plan (Splash Park)     M4.2 Mechanical New Work Plan     FA.I Electrical New Work Plan (Splash Park)     FA.I Electrical Demolition Plan (Park)     FA.I Electrical Park Work Plan (Park)     FA.I Electrical New Work Plan (Park)     FA.I Electrical N		-	-			•		
M3.1   Plumbing New Work Plan						•		
M3.1   Plumbing New Work Plan		1	-			•		
May Sheet Metal New Work Plan  East Electrical New Work Plan  Ticket Booth  Ticket Booth  TB-AI Floor Plan, Foundation Plan, Reflected Ceiling Plan, Roof Plan and Structural Notes  TB-A2 Building Elevations and Sections  TB-A3 Wall Sections and Details  M4.1 Mechanical New Work Plan (Splash Park)  M4.2 Mechanical New Work Plans (Splash Park)  Renovated Restroom Building  RRB-DI Demolition Floor Plan and Demolition Reflected Ceiling Plan  RRB-D2 Demolition Building Elevations  RRB-A1 Floor Plan and Reflected Ceiling Plan  RRB-A2 Door and Finish Schedule  RRB-A3 Building Sections  RRB-A4 Building Sections  RRB-A5 Wall Sections  RRB-A6 Interior Elevations  RRB-A6 Interior Elevations  RRB-A7 Plumbing New Work Plan  MB1 Plumbing New Work Plan  MB2 Sheet Metal New Work Plan  PRB-A8 Hotal New Work Plan  MB2 Sheet Metal New Work Plan  Electrical Demolition Plan  Eb5.1 Electrical Demolition Plan	+	1	-			•	<b>†</b>	
Ticket Booth  Tib-Al Floor Plan, Foundation Plan, Reflected Ceiling Plan, Roof Plan and Structural Notes  TB-A2 Building Elevations and Sections  TB-A3 Wall Sections and Details  M4.1 Mechanical New Work Plan (Splash Park)  M4.2 Mechanical New Work Plan (Splash Park)  E4.1 Electrical New Work Plans (Splash Park)  Ranovated Restroom Building  RRB-D1 Demolition Floor Plan and Demolition Reflected Ceiling Plan  RRB-D2 Demolition Building Elevations  RRB-A4 Floor Plan and Reflected Ceiling Plan  RRB-A3 Building Elevations  RRB-A4 Building Sections  RRB-A4 Building Sections  RRB-A5 Wall Sections  RRB-A6 Interior Elevations  RRB-A7 Interior Elevations  MD5.1 Mechanical - Demolition Plan  MB5.2 Sheet Metal New Work Plan  Pubblig New Work Plan  MB5.2 Sheet Metal New Work Plan  Electrical Demolition Plan						•		-
TB-AI Floor Plan, Foundation Plan, Reflected Ceiling Plan, Roof Plan and Structural Notes  TB-A2 Building Elevations and Sections  TB-A3 Wall Sections and Details  M4.1 Mechanical New Work Plan (Splash Park)  M4.2 Mechanical New Work Plan  E4.1 Electrical New Work Plans (Splash Park)  Renovated Restroom Building  RRB-DI Demolition Floor Plan and Demolition Reflected Ceiling Plan  RRB-D2 Demolition Building Elevations  RRB-A1 Floor Plan and Reflected Ceiling Plan  RRB-A2 Door and Finish Schedule  RRB-A3 Building Elevations  RRB-A4 Building Sections  RRB-A5 Wall Sections  RRB-A6 Interior Elevations  RRB-A6 Interior Elevations  RRB-A7 Interior Elevations  RRB-A7 Mechanical - Demolition Plan  M5.1 Plumbing New Work Plan  M5.2 Sheet Metal New Work Plan  ED5.1 Electrical Demolition Plan	<del>                                     </del>	<u> </u>	<u> </u>			•	E3.1	Electrical New Work Plan
TB-AI Floor Plan, Foundation Plan, Reflected Ceiling Plan, Roof Plan and Structural Notes  TB-A2 Building Elevations and Sections  TB-A3 Wall Sections and Details  M4.1 Mechanical New Work Plan (Splash Park)  M4.2 Mechanical New Work Plan  E4.1 Electrical New Work Plans (Splash Park)  Renovated Restroom Building  RRB-DI Demolition Floor Plan and Demolition Reflected Ceiling Plan  RRB-D2 Demolition Building Elevations  RRB-A1 Floor Plan and Reflected Ceiling Plan  RRB-A2 Door and Finish Schedule  RRB-A3 Building Elevations  RRB-A4 Building Sections  RRB-A5 Wall Sections  RRB-A6 Interior Elevations  RRB-A6 Interior Elevations  RRB-A7 Interior Elevations  RRB-A7 Mechanical - Demolition Plan  M5.1 Plumbing New Work Plan  M5.2 Sheet Metal New Work Plan  ED5.1 Electrical Demolition Plan	+	-	-	1				Ticket Booth
TB-A2 Building Elevations and Sections  TB-A3 Wall Sections and Details  M4.1 Mechanical New Work Plan (Splash Park)  M4.2 Mechanical New Work Plan  E4.1 Electrical New Work Plans (Splash Park)  Renovated Restroom Building  RRB-D1 Demolition Floor Plan and Demolition Reflected Ceiling Plan  RRB-D2 Demolition Building Elevations  RRB-A1 Floor Plan and Reflected Ceiling Plan  RRB-A2 Door and Finish Schedule  RRB-A3 Building Elevations  RRB-A4 Building Sections  RRB-A5 Wall Sections  RRB-A6 Interior Elevations  RRB-A6 Interior Elevations  RRB-A7 Interior Elevations  RRB-A8 Mechanical - Demolition Plan  M5.1 Plumbing New Work Plan  M5.2 Sheet Metal New Work Plan  ED5.1 Electrical Demolition Plan						•	TB-A1	
M4.1 Mechanical New Work Plan (Splash Park)  M4.2 Mechanical New Work Plan  E4.1 Electrical New Work Plans (Splash Park)  Renovated Restroom Building  RRB-DI Demolition Floor Plan and Demolition Reflected Ceiling Plan  RRB-D2 Demolition Building Elevations  RRB-A1 Floor Plan and Reflected Ceiling Plan  RRB-A2 Door and Finish Schedule  RRB-A3 Building Elevations  RRB-A4 Building Sections  RRB-A5 Wall Sections  RRB-A6 Interior Elevations  RRB-A1 Interior Elevations  RRB-A1 Interior Elevations  RRB-A1 Interior Elevations  RRB-A1 Interior Elevations  MD5.1 Mechanical - Demolition Plan  M5.2 Sheet Metal New Work Plan  ED5.1 Electrical Demolition Plan	<del>                                     </del>	<del>                                     </del>	<del>                                     </del>			•		
M4.2 Mechanical New Work Plans (Splash Park)  Renovated Restroom Building  RRB-DI Demolition Floor Plan and Demolition Reflected Ceiling Plan  RRB-Al Floor Plan and Reflected Ceiling Plan  RRB-A2 Door and Finish Schedule  RRB-A3 Building Elevations  RRB-A4 Building Sections  RRB-A5 Wall Sections  RRB-A6 Interior Elevations  RRB-A7 Interior Elevations  MD5.1 Mechanical - Demolition Plan  M5.2 Sheet Metal New Work Plan  Education Plan  Park  Park  Park  Park  Park  Renovated Restroom Building  Reflected Ceiling Plan  P						•		
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<ul> <li>RRB-DI Demolition Floor Plan and Demolition Reflected Ceiling Plan</li> <li>RRB-D2 Demolition Building Elevations</li> <li>RRB-A1 Floor Plan and Reflected Ceiling Plan</li> <li>RRB-A2 Door and Finish Schedule</li> <li>RRB-A3 Building Elevations</li> <li>RRB-A4 Building Sections</li> <li>RRB-A5 Wall Sections</li> <li>RRB-A6 Interior Elevations</li> <li>RRB-A7 Interior Elevations</li> <li>MD5.1 Mechanical - Demolition Plan</li> <li>M5.2 Sheet Metal New Work Plan</li> <li>ED5.1 Electrical Demolition Plan</li> </ul>			-			•	E4.1	Electrical New Work Plans (Splash Park)
<ul> <li>RRB-D2 Demolition Building Elevations</li> <li>RRB-AI Floor Plan and Reflected Ceiling Plan</li> <li>RRB-A2 Door and Finish Schedule</li> <li>RRB-A3 Building Elevations</li> <li>RRB-A4 Building Sections</li> <li>RRB-A5 Wall Sections</li> <li>RRB-A6 Interior Elevations</li> <li>RRB-A7 Interior Elevations</li> <li>MD5.1 Mechanical - Demolition Plan</li> <li>M5.2 Sheet Metal New Work Plan</li> <li>ED5.1 Electrical Demolition Plan</li> </ul>								Renovated Restroom Building
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RRB-AT Interior Elevations     MD5.1 Mechanical - Demolition Plan     M5.1 Plumbing New Work Plan     M5.2 Sheet Metal New Work Plan     ED5.1 Electrical Demolition Plan						•		
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issue / revision date

3-7-17 Prelim. Review

3-21-17 Prelim. Review

5-9-17 Prelim. Review

5-16-17 Prelim. Review

6-7-17 City Review

6-19-17 Bids

6-29-17 Addendum #1

drawn by checked by

of Sterling Heights ge Park Improvements ling Heights, Michigan

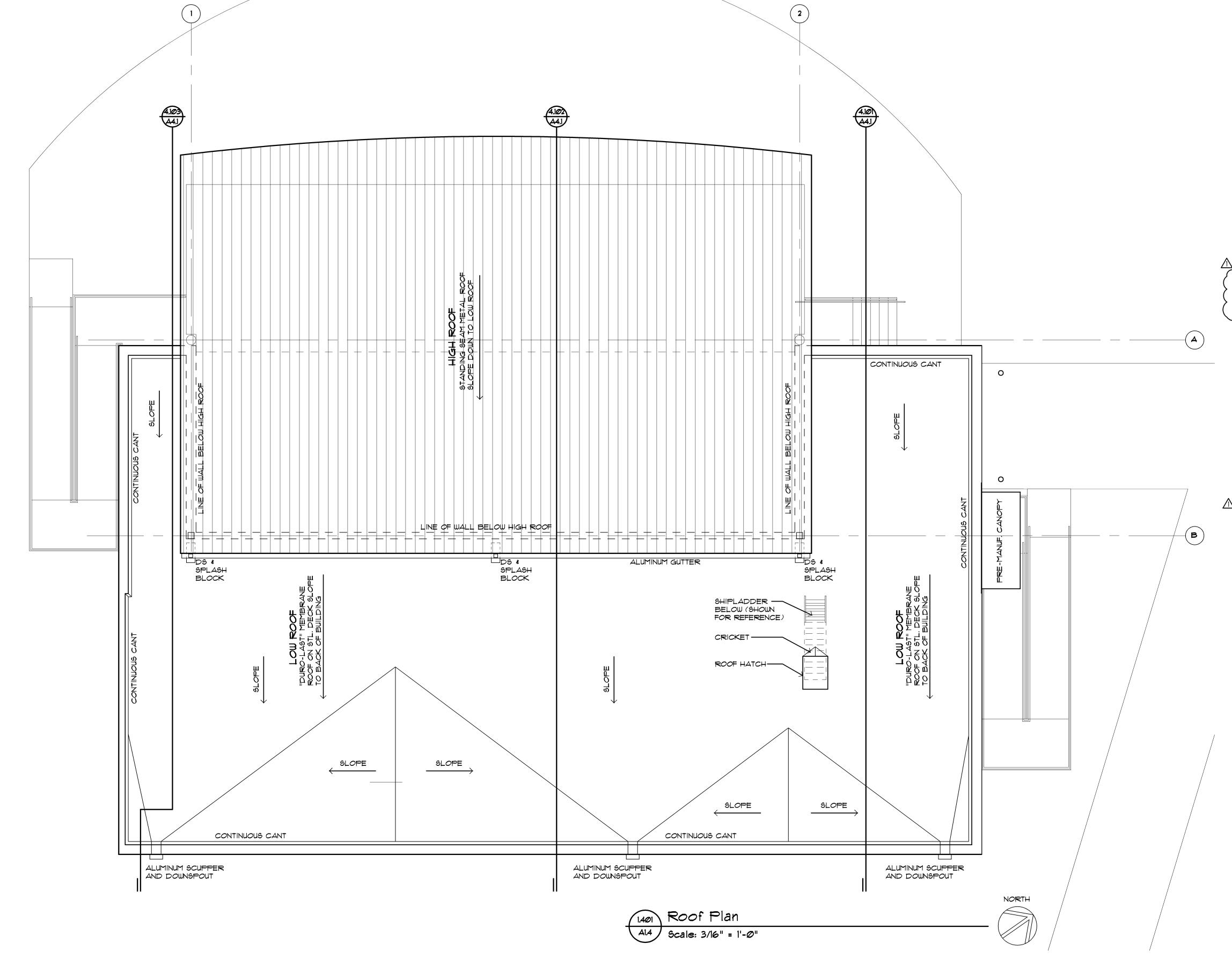
Sterling Height

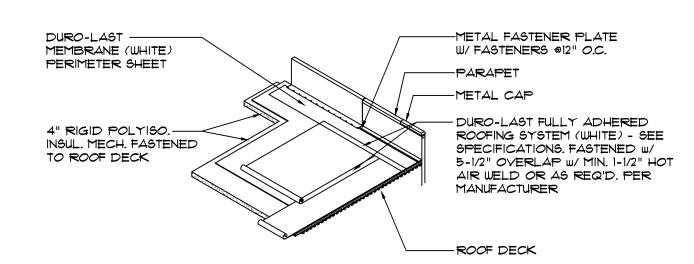


29895 Greenfield Rd., Suite 107 Southfield, Michigan 48076 (248) 557-1062 Fax: (248) 557-1231

job no. sheet no. 16078A T002

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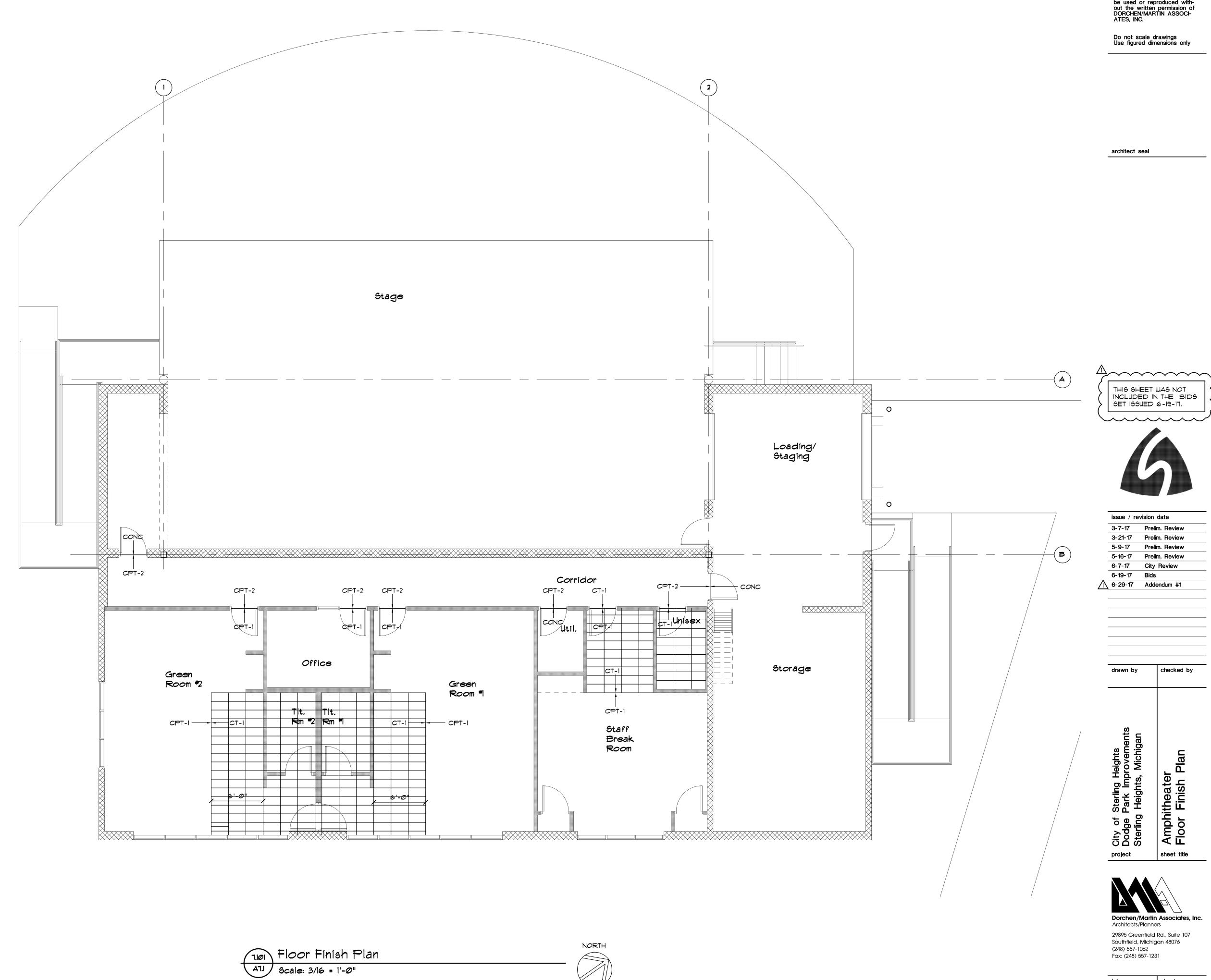




Roofing Detail a Low Roof

Al.4 Scale: 3/16" = 1'-0"

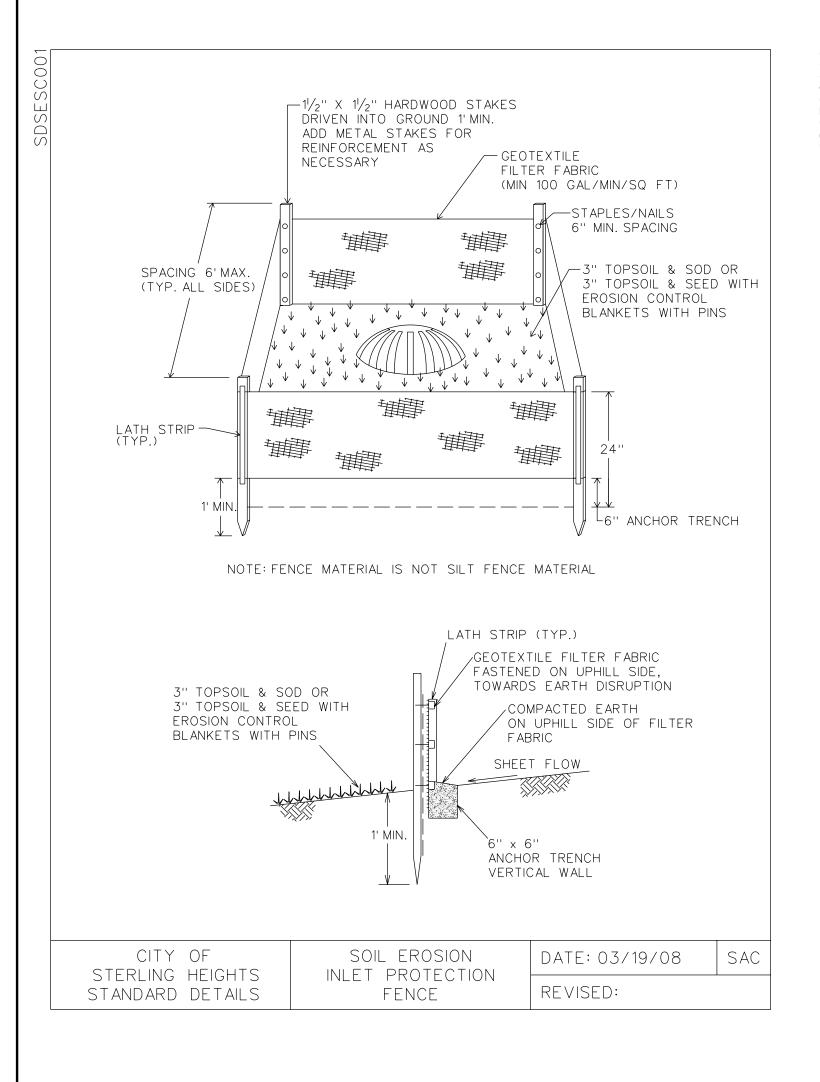
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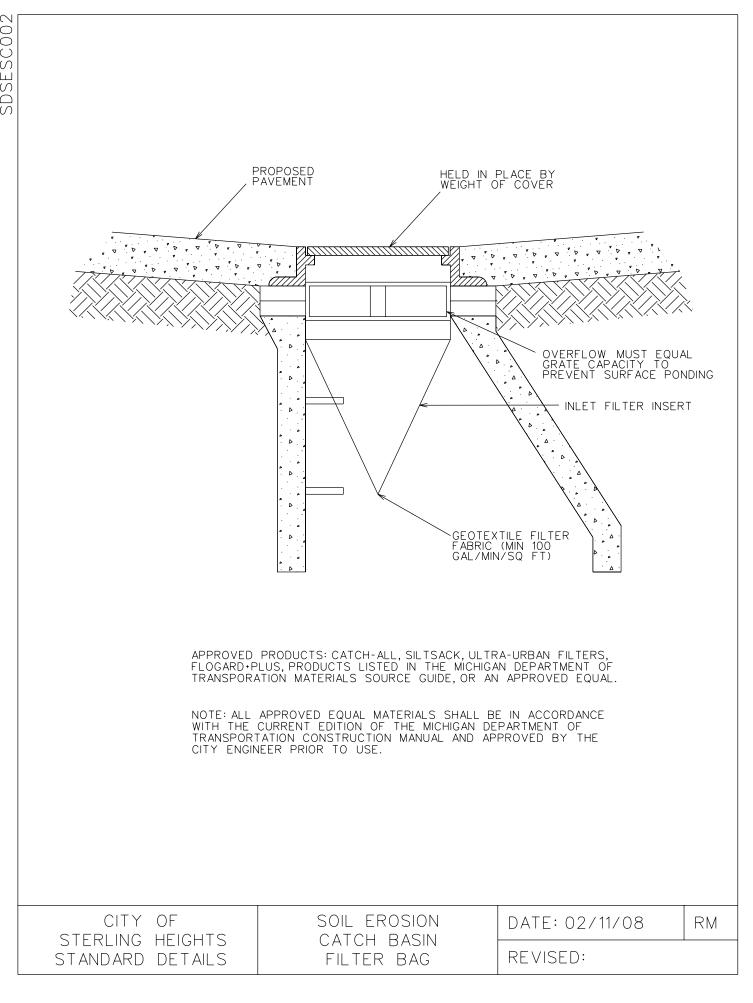


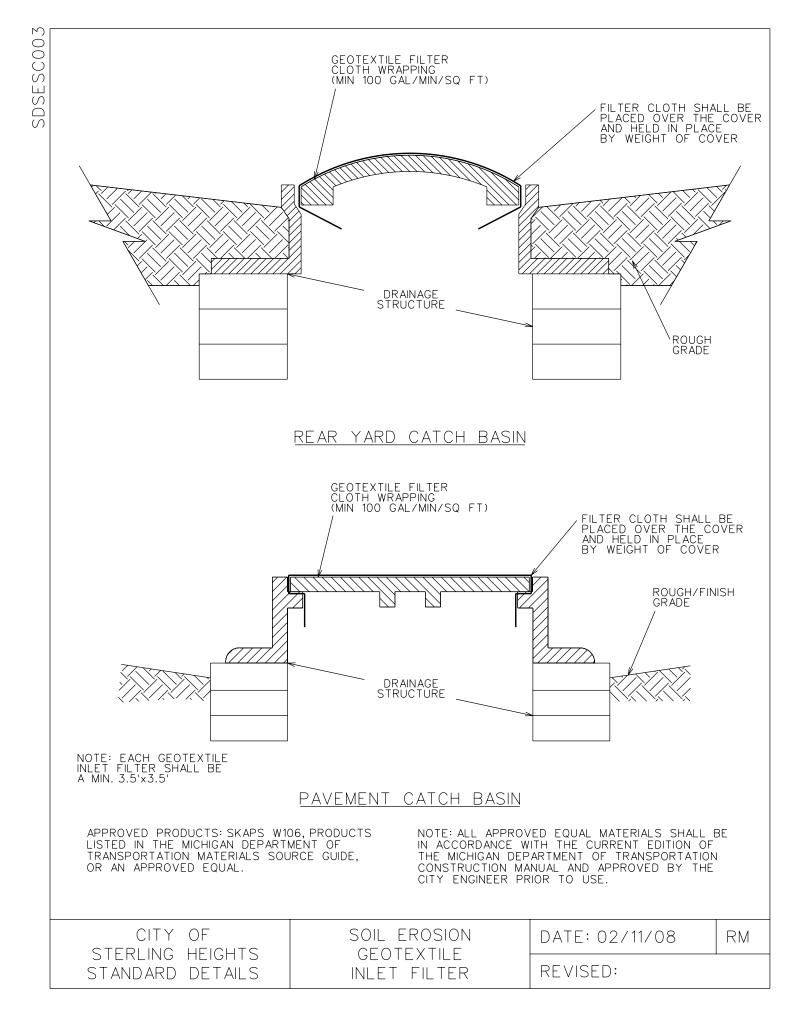
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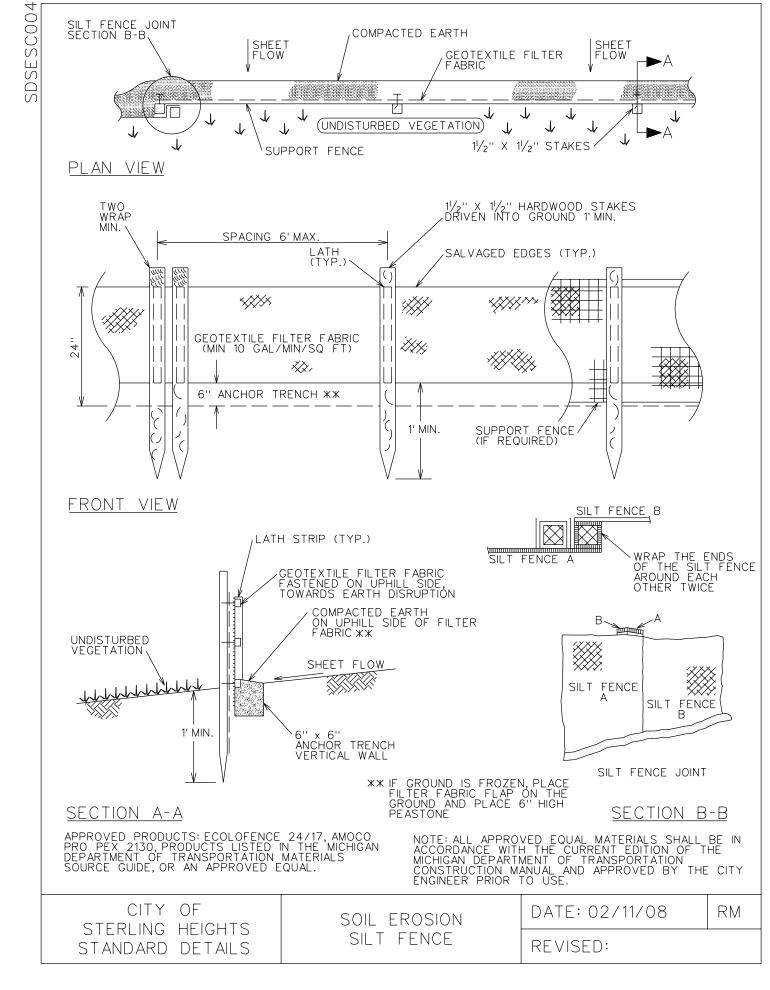
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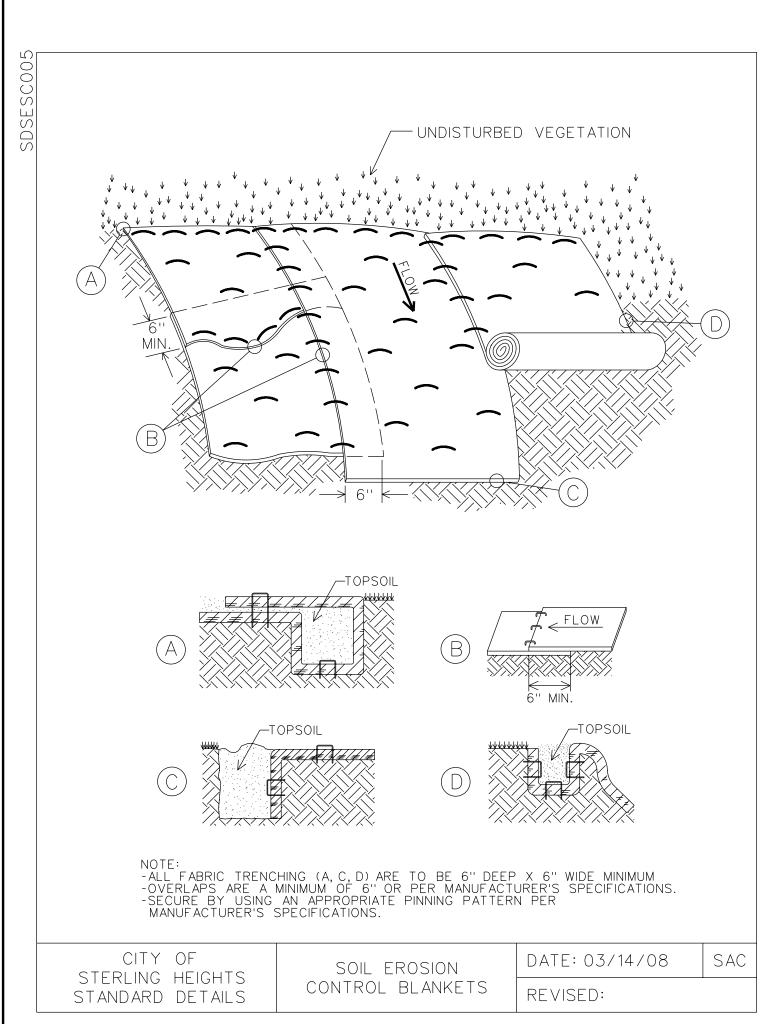
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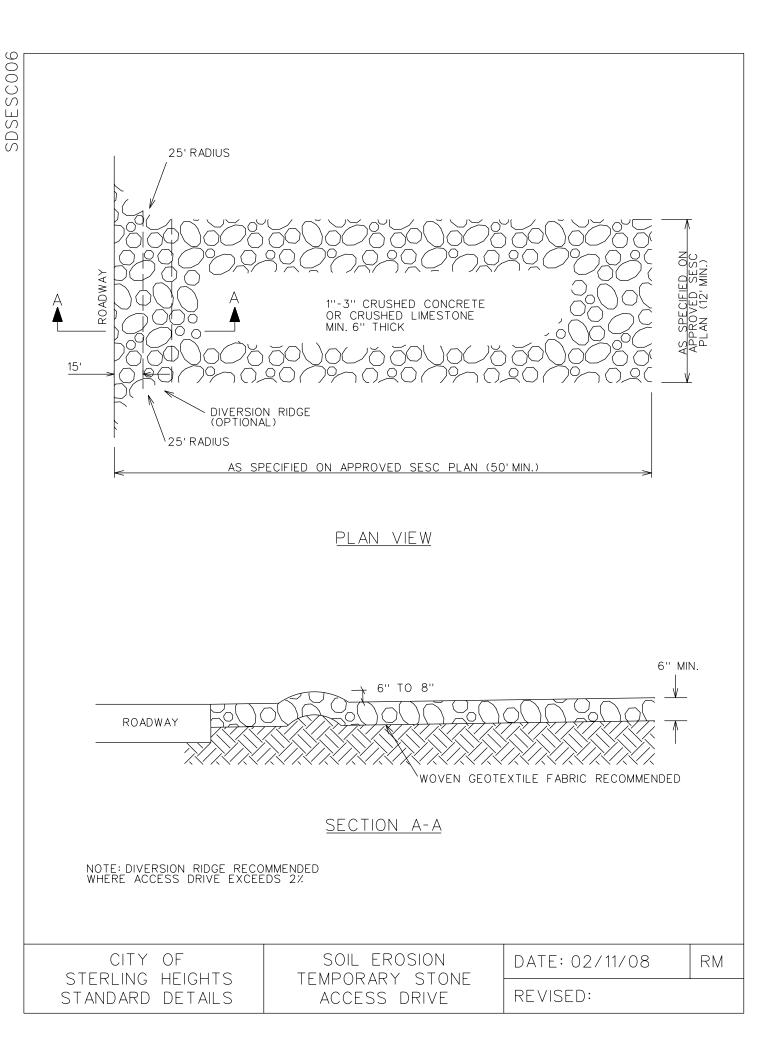


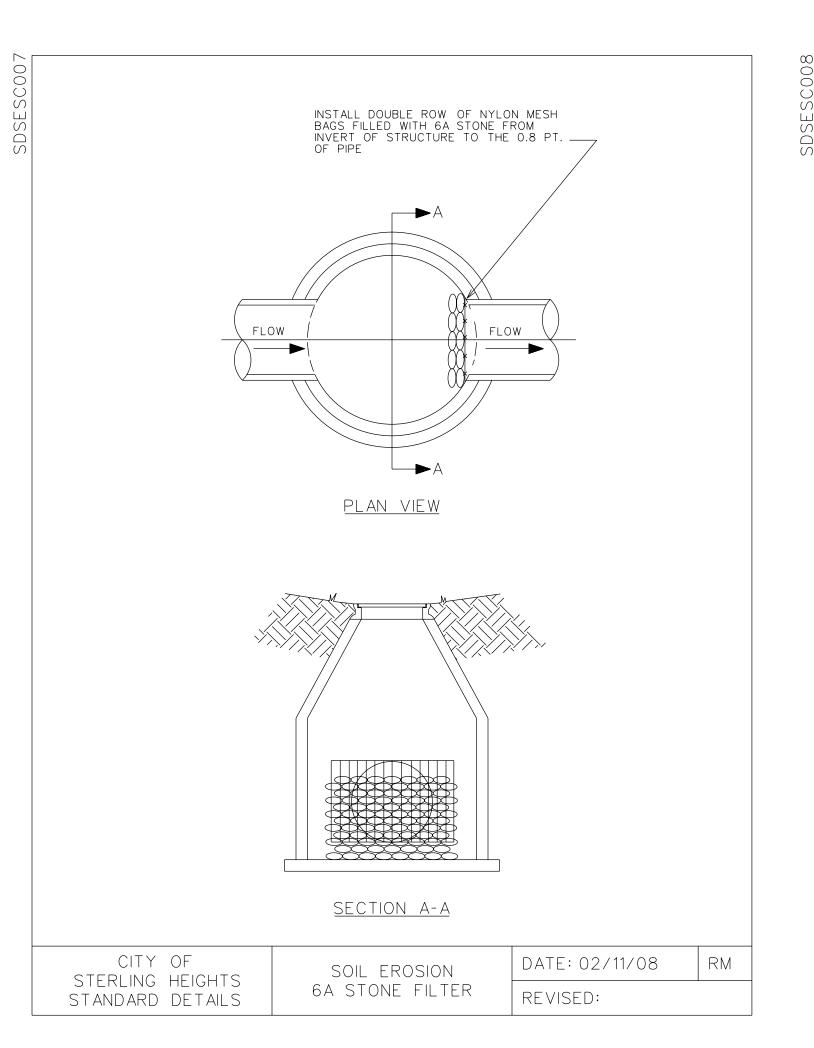












## **CONDOMINIUM/SUBDIVISION DEVELOPMENTS SEQUENCE OF OPERATION FOR CATCH BASIN**

PAVEMENT CATCH BASIN(S):

. Upon completion of pavement catch basin(s), install geotextile inlet filter(s) per Geotextile Inlet Filter detail.

2. Upon completion of paving, remove inlet filter(s) and replace with catch basin filter bag(s) per Catch Basin Filter Bag detail. REAR YARD CATCH BASIN(S):

1. Upon completion of mass grading, install inlet protection fence per Inlet Protection Fence detail.

A. Inlet filter(s) shall be inspected weekly under normal conditions, within 24 hours of a precipitation event and daily during a prolonged precipitation event.

B. Buildup of sediment and debris shall be removed promptly. C. If fabric decomposes or becomes ineffective prior to the end of the expected life

and the barrier is still required, the fabric shall be replaced promptly.

D. Additional measures aside from those shown on this plan may be required due to site conditions as determined by the City Engineer.

**GENERAL NOTES** 

1. All erosion and sediment control work shall conform to standards and specifications of the City of Sterling Heights.

2. Daily inspections shall be made by the Contractor to determine effectiveness of erosion and sediment control measures, and any necessary repairs shall be performed without delay.

3. Erosion and any sedimentation from work on this site shall be contained on the site and not allowed to collect on any off-site areas or in waterways. Waterways include both natural and man-made open ditches, streams, storm drains, lakes

4. Erosion and sediment control measures are to be placed prior to, or as the first step in construction. Sediment control practices will be applied as a perimeter

defense against any transporting of silt off the site. 5. Contractor shall apply temporary erosion and sedimentation control measures as required and as directed on these plans. He shall remove temporary measures as soon as permanent stabilization of slopes, ditches, and other earth changes have been accomplished.

6. Permanent soil erosion control measures for all slopes, channels, ditches or any disturbed land area shall be completed within 5 calendar days after final grading or the final earth change has been completed. When it is not possible to permanently stabilize a disturbed area after an earth change has been completed or where significant earth change activity ceases, temporary soil erosion control measures shall be implemented within 30 calendar days. All temporary soil erosion measures shall be maintained until permanent soil erosion control measures are implemented and established before a certificate of compliance is issued.

7. All mud/dirt tracked onto existing city/county/state roads from this site, due to construction, shall be removed by the Contractor/Builder at the end of the work day or immediately if a driving hazard is present.

8. All onsite and offsite areas disturbed by construction shall be restored to equal or better than original existing conditions. All restoration shall consist of a minimum of 3" topsoil with seed and mulch or 3" of topsoil and Class "A" sod where existing conditions require sod replacement.

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CITY OF STERLING HEIGHTS	SOIL EROSION	DATE: 02/11/08	RM
STANDARD DETAILS	NOTES	REVISED: 05/06/11	

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## **CONSTRUCTION NOTES**

- 1. The Contractor shall notify the City of Sterling Heights Office of Engineering (586-446-2720) 48 hours prior to the start of construction of public utilities or of construction within City Rights-Of-Way.
- 2. All construction shall conform to the current standards and specifications of the City of Sterling Heights which are included as part of these plans.
- 3. After the completion of construction of public utilities or construction within City Rights-Of-Way, the Contractor must request a Final Inspection. Any Punchlist items resulting from the FinalInspection must be resolved prior to the final release and acceptance.
- 4. The existing utilities indicated on this plan are in accordance with available information. It shall be the Contractor's obligation to verify the exact location of all existing utilities which might affect this job.
- 5. The Contractor shall notify "Miss Dig" (647-7344) at least 3 working days prior to the start of construction.
- 6. The Contractor shall at all times be aware of inconvenience caused to the abutting property owners and general public. Where undue inconviences are not remedied by the Contractor, the City, upon four hours notice, reserves the right to perform the necessary work and deduct the cost therefore from the money due the Contractor.
- 7. During construction the Contractor shall provide watchmen and flagmen as may be required for the safety and convenience of the public and shall furnish all barricades, signs, and lights necessary to protect the public. Traffic shall be maintaned at all times unless otherwise authorized by the City of Sterling Heights. Traffic control shall be in accordance with the Michigan Manual of Uniform Traffic Control Devices, current edition by the Michigan Department of Transportation.
- 8. In cases where detour roads are necessary, traffic shall be routed over roads as directed by the City of Sterling Heights. In all cases, the detour roads shall be maintained with dust control and grading as required by the Engineer.
- 9. Existing roads used as haulroutes shall be approved by the City of Sterling Heights and the Contractor shall maintain them with grading and dust control as required by the Engineer.
- 10. The Contractor is to provide adequate dust control when such a problem has been caused by his construction operations. Dust control methods must meet the approval of the City.
- 11. All property irons and monuments disturbed or destroyed by the Contractor's operations shall be replaced by a Registered Land Surveyor provided by the Contractor at the Contractor's expense.
- 12. Contractor shall provide Owner and Engineer a copy of written permission to use private property for storage of equipment and materials or for his construction operations.
- 13. Trench backfillunder existing or proposed roadways, driveways and parking areas, unless otherwise noted, shall be sand or gravel, placed in 12 inch layers (maximum) and consolidated to 95% maximum density as measured by modified proctor.
- 14. Gravelor slag roadways, driveways, parking areas and shoulders shall be restored by placing 8 inches of 21AA limestone and shall be maintained as settling takes place.
- 15. Trees and shrubs are to be protected during construction and bored where necessary unless other arrangements are made with the abutting property owner from whom a written release shall be obtained and provided to the City. Unless specifically designated at a location on the plan, tunnel or bore of tree(s), shrubs, etc. shall be incidental to the unit price of the utility.
- 16. Existing fences shall be removed and restored to their original condition or better where in conflict with construction.
- 17. Driveways, culverts, ditches, drain tile, sprinkler systems, drainage structures, etc., that are disturbed by the Contractor's operations shall be immediately restored.
- 18. All established lawn areas disturbed by the Contractor's operations shall be resodded with matching sod or Marion Blue Sod. All other areas shall be seeded and mulched, seeding and mulching shall be done in accordance with the General Specifications. Seeding shall include 4" of topsoil for both field seeding and lawn seeding. Pay item for seeding includes a satisfactory growth of seed. If for whatever reason the seed does not "catch" the first time, then the Contractor is obligated to come back and reseed the area at no additional cost until permanent growth is established.
- 19. All ditch slopes shall have established vegetation and be free from
- 20. All utility poles in close proximity to construction shall be supported in a manner satisfactory to the utility owner.
- 21. Drive culverts which are removed or destroyed by the contractor's operations shall be replaced with a minimum of 24 feet of 12-inch corrugated metal pipe with end sections. The existing culvert may be reused if it meets City standards.
- 22. Grading of trench backfill shall be kept to within 100 feet of excavation. Soil shall be mounded over the trench continuously. Any surplus excavation (except topsoil) that is left in piles shall be removed from the site within 7 days.
- 23. Existing crushed limestone, decorative stone, etc. drives shall be restored with 8" of like material and be paid for at the unit price indicated in the proposal for 21AA limestone.
- 24. All items not specifically indicated as a pay item in the proposal shall be considered as incidental to the installation of the improvements.
- 25. All utility crossings shall maintain an 18 inch minimum vertical separation.
- 26. All parallel sanitary, storm and water main lines shall maintain a 10 foot minimum horizontal separation.

## **PAVING NOTES**

## A. GENERAL

- 1. Pavement shall be of the type, thickness, and cross-section as indicated on the plans and as follows:
  - a. Concrete: Portland cement (air-entrained) with a minimum cement content of 6 sacks per cubic yard, minimum 28 day compressive strength of 3500 psi, and a slump of 1 1/2 to 3 inches.
  - b. Asphalt: Base course Michigan Department of Transportation 4:11 (20 A); Surface course Michigan Department of Transportation 4:12 Type M; Asphalt cement penetration grade-85-100; Prime coat Michigan Department of Transportation MC-30 at 0.30 gallons per square yard; Bond coat Michigan Department of Transportation SS-1h at 0.15 gallons per square yard; maximum 2 inch lift.
- 2. The pavement base shall be compacted to 95% of the maximum density (modified Proctor) prior to placement of the pavement.
- 3. Drive approaches shall be constructed in accordance with Michigan Department of Transportation Standard Plan R-29I.
- 4. Sidewalk ramps shall be constructed where required in accordance with Michigan Department of Transportation Standard Plan R-28I.
- 5. All structures (manholes, gatewells, hydrants, etc.) shall be adjusted

# to the finish grade. B. PUBLIC STREETS

- 1. All proposed elevations are for top of curb unless otherwise noted.
- 2. The pavement shall be centered in the right-of-way unless otherwise noted.
- 3. Expansion joints shall be placed at the end of all intersection radii.
- 4. Edge drains shall be installed where designated by the Engineer.
- 5. Concrete pavement joints shall be filled with hot poured rubber asphalt joint sealing compound. (Federal Specification SS-S-164)

# STORM SEWER NOTES

- 1. All storm sewers shall be installed on a Class "B" or Class "B" Modified bedding (see Standard Detail) unless indicated otherwise.
- 2. Joints for storm sewers shall be plain joints with Dewitt #10 or an approved equal.
- 3. The inside joints for all storm sewers 30" and larger shall be cement pointed.
- 4. Tees shall be provided for building drains or sump pump leads. Breaking into the storm sewer for connection will not be permitted.
- 5. Whenever existing manholes or sewer pipe are to be tapped, holes are to be drilled 4 inch center to center spacings around the periphery of the proposed opening to create a plane of weakness joint a 12 inch (minimum) thick concrete collar is to encase the new pipe and opening. See detail on construction plans.

## **SANITARY SEWER NOTES**

- 1. The Contractor shall notify the Macomb County Public Works Office at (586) 469-5325 at least 3 working days prior to the start of any sanitary sewer construction.
- 2. All sewers to be placed on Class "B" bedding or better.
- 3. Wyes, risers, and house leads are to be placed at locations shown on the plans or as directed by the Engineer. All wyes are incidental.
- 4. Each wye or house lead shall have a plug of the same type of joint as
- 5. House leads shall be a minimum of 9 ft. deep at the property line.
- 6. Downspouts or other conduits carrying storm or ground water shall not be connected to the sanitary sewer.
- 7. Whenever existing manholes or sewer pipe are to be tapped, holes are to be drilled at 4 inch center to center spacings around the periphery of the proposed opening to create a plane of weakness joint a 12 inch thick concrete collar is to encase the new pipe and opening.
- 8. Maximum infiltration shall not exceed 100 gallons per inch of diameter per mile of pipe per 24 hours. For purposes of testing infiltration, a video of all pipe must be submitted along with an air pressure test prior to acceptance by the City.
- 9. The inside joints for all sanitary sewers 30" and larger shall be cement
- 10. All concrete sanitary sewer, manhole and pipe joint shall be modified grooved tongue with rubber gaskets as required under the current adopted A.S.T.M., C-443.
- 11. All sanitary sewer shall be pressure tested and video tested at least 30 days after installation. Maximum 5.0% deflection allowed. Truss pipe installed less than 12 feet below grade will be exempt from the deflection test.
- NOTE: ABS & PVC Truss Pipe Will Be Allowed For Sanitary Sewer In Lieu of C-14XM Sanitary Sewer With the Permission of the City Engineer.

## **SOIL EROSION AND SEDIMENTATION CONTROL**

- All erosion and sediment control work shall conform to standards and specifications of the City of Sterling Heights.
- 2. Daily inspections shall be made by the Contractor to determine effectiveness of erosion and sediment control measures, and any necessary repairs shall be performed without delay.
- 3. Erosion and any sedimentation from work on this site shall be contained on the site and not allowed to collect on any off-site areas or in waterways. Waterways include both natural and man-made open ditches, streams, storm drains, lakes and ponds.
- 4. Erosion and sediment control measures are to be placed prior to, or as the first step in construction. Sediment control practices will be applied as a perimeter defense against any transporting of silt off the site.
- 5. Contractor shall apply temporary erosion and sedimentation control measures as required and as directed on these plans. He shall remove temporary measures as soon as permanent stabilization of slopes, ditches, and other earth changes have been accomplished.
- 6. Permanent soil erosion control measures for all slopes, channels, dithces or any disturbed land area shall be completed within 5 calendar days after final grading or the final earth change has been completed. When it is not possible to permanently stabilize a disturbed area after an earth change has been completed or where significant earth change activity ceases, temporary soil erosion control measures shall be implemented within 30 calendar days. All temporary soil erosion measures shall be maintained until permanent soil erosion control
- measures are implemented and established before a certificate of compliance is issued.
- 7. All mud/dirt tracked onto existing city/county/state roads from this site, due to construction, shall be removed by the Contractor/Builder at the end of the work day or immediately if a driving hazard is present.
- 8. All onsite and offsite areas disturbed by construction shall be restored to equal or better than original existing conditions. All restoration shall consist of a minimum of 4" topsoil with seed and mulch or 3" of topsoil and Class "A" sod where existing conditions require sod replacement.

## WATER MAIN NOTES

- 1. The Contractor shall notify the Inspection Section of the Detroit Water and Sewerage Dept. at (313) 833-8649 at least 3 working days prior to the start of any water main construction.
- 2. When it is necessary to shut down existing water mains, the Contractor shall contact the City of Sterling Heights Department of Public Services 24 hours prior to the shutdown and he shall cooperate with the City forces in closing the necessary gate valves and in notifying the affected properties.
- 3. Hydrant elevations and gate well top elevations shall be set to existing ground elevations unless otherwise directed by the Engineer.
- 4. All water mains shall be constructed with a minimum cover of 6 ft. below finish grade, unless otherwise indicated on the plans.
- 5. Connections to existing water mains shall not be made until after successful completion of bacteriological and pressure tests.
- 6. All bends, tees, miscellaneous fittings, thrust blocks and sand backfill are to be incidental.
- 7. The Contractor will be paid for horizontal distances only.
- 8. All valves are to be right-hand open.
- 9. All fire hydrants shall be Sterling Heights Standard EJIW 6-BR Traffic Type with breakaway flange or Mueller A425 Centurion, Two-Way with two 4 ½ inch pumper nozzles or approved equal.
- 10. There shall be a  $\frac{3}{4}$  inch corporation stops installed on both sides of each gate valve.
- 11. Two brass wedges shall be installed at each joint on cast iron and ductile iron pipe.
- 12. Cadilloc wrap, or an approved equal, shall be used around the water main at gatewell walls.
- 13. Service taps, shut-off valves, and service line extensions to the property or easement line shall be made by the City of Sterling Heights Department of Public Works, for connections smaller than 3''.
- 14. Where water mains must dip to pass under a storm sewer or sanitary sewer, the sections which are deeper than normal shall be kept to a minimum length by the use of 45°, 22½°, or 11½° vertical bends properly anchored.
- 15. Hydrants shall be painted Sunrise Red ('Rust-oleum' 7762 or equal).

  Nozzles and top flange shall be painted white with reflectorized beads.
- Nozzles and top flange shall be painted white with reflectorized beads.

  16. Sizes of iron pipes shall be of a class conforming to the following table:

Nominal Diameter (inches)	Ductile Class	Cast Iron Class
6	54	24
8	54	25
12	54	25
16	54	26

## **SITE PLAN NOTES**

- All construction shall conform to the current standards and specifications of the City of Sterling Heights.
- 2. The Contractor shall notify "Miss Dig" (647-7344) at least 3 working days prior to the start of construction.
- 3. The Contractor shall notify the City of Sterling Heights Office of Engineering (586-446-2720) 48 hours prior to the start of construction of public utilities or of construction within City Rights-Of-Way.
- 4. Handicapped parking spaces shall be identified with the international symbol.
- 5. Access to a structure shall be provided for the physically handicapped.
  6. Onsite parking shall be provided for construction workers.
- 7. An as-built reproducible mylar shall be submitted to the Engineering Department prior to the issuance of any occupancy permit or release of builder's bond.
- 8. All on-site storage tanks, except those containing potable water, shall be provided with secondary containment equal to a minimum 110% of tank capacity.
- 9. All potential utility conflicts must be physically determined prior to the start of construction of utilities. An Engineering inspector must be present.

REVISIONS	DESCRIPTION	Note 7 of SESC notes.	Note 6 of SESC notes.		DEQ Sanitary updates
SCALE: 1" = 50'	DATE: 05/13/00	DAIL: 00/10/00	FIELD BOOK:		
DRAWN: DWM			APPROVED: TRD		ARRIVITURE AFIL
CITY OF STERLING HEIGHTS DRAWN: DWM		TOOO MOU OU	F.U. BUA BUUS	STERLING HEIGHTS, MI 48311-8009	
PROJECT INFORMATION	LOCATION: CITY OF STERLING HEIGHTS			SECTION:	
PROJEC	LOCATION: CIT	STATION.	SIAIION.	C.P. NO.:	
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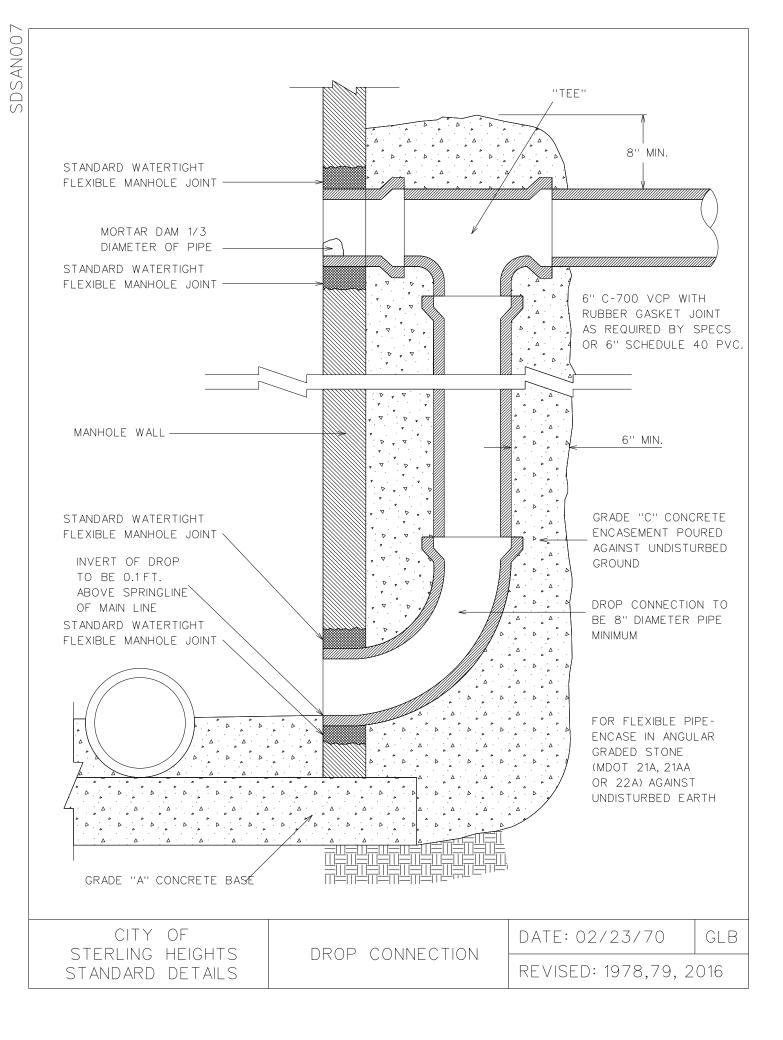
STANDARD DETAILS NOTES

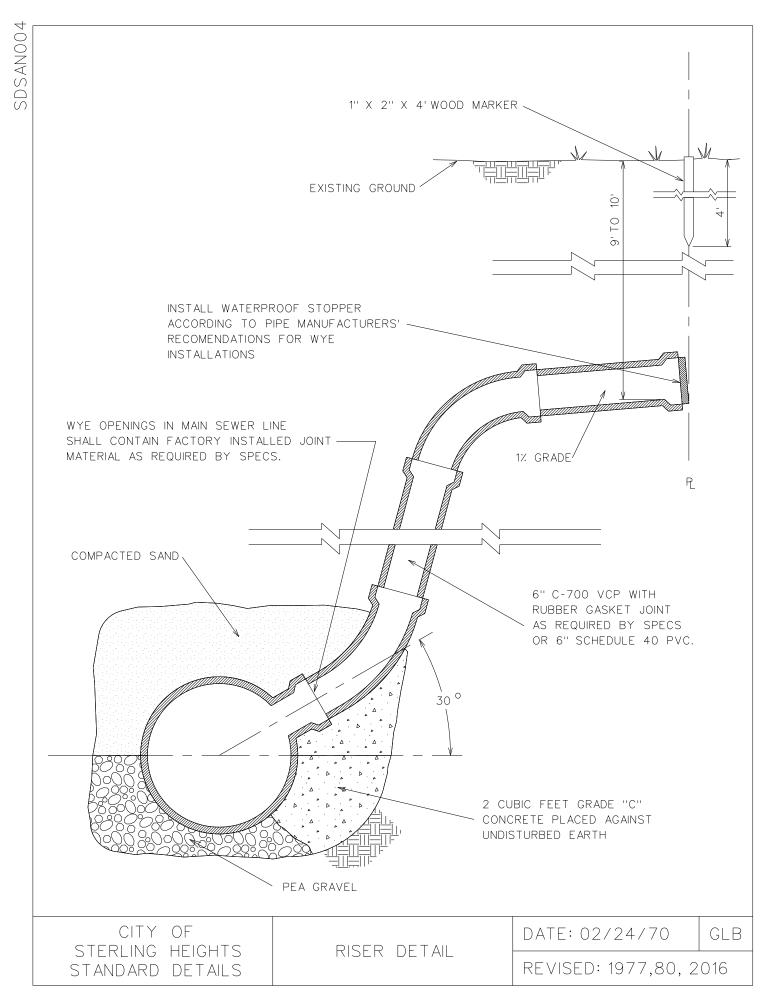
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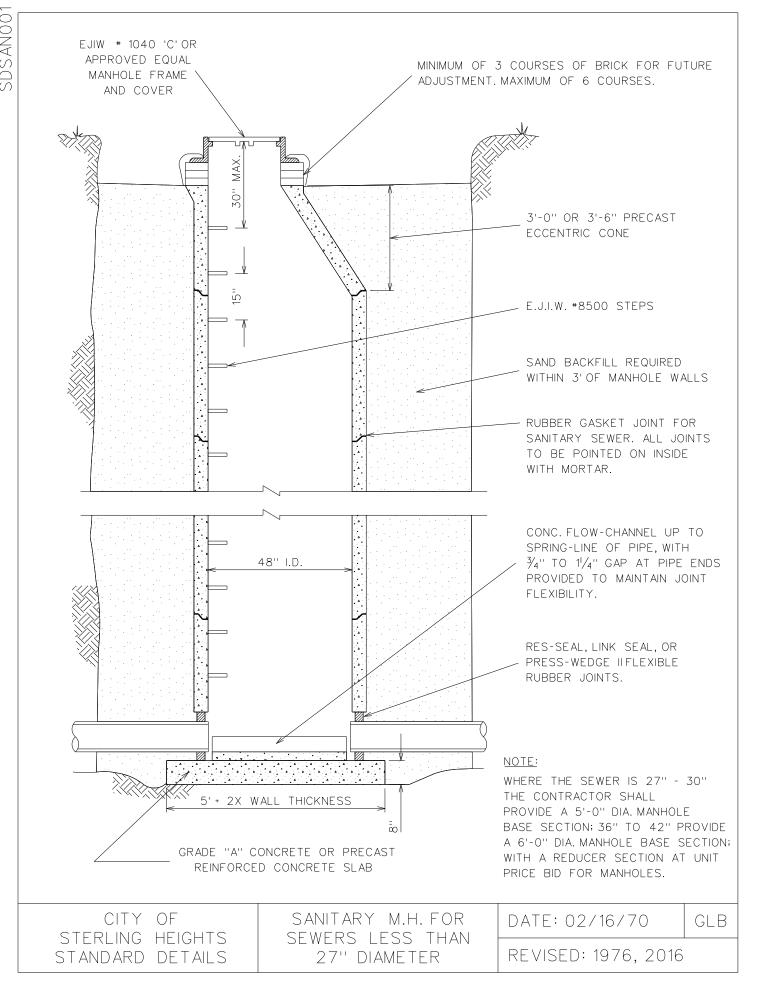
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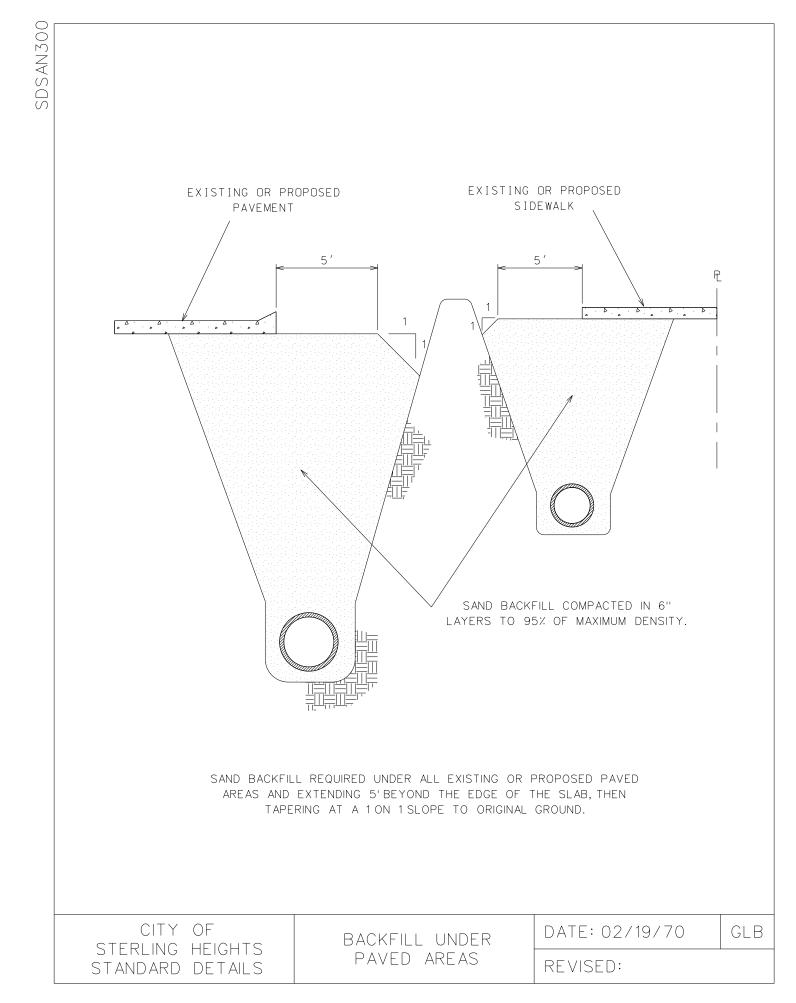
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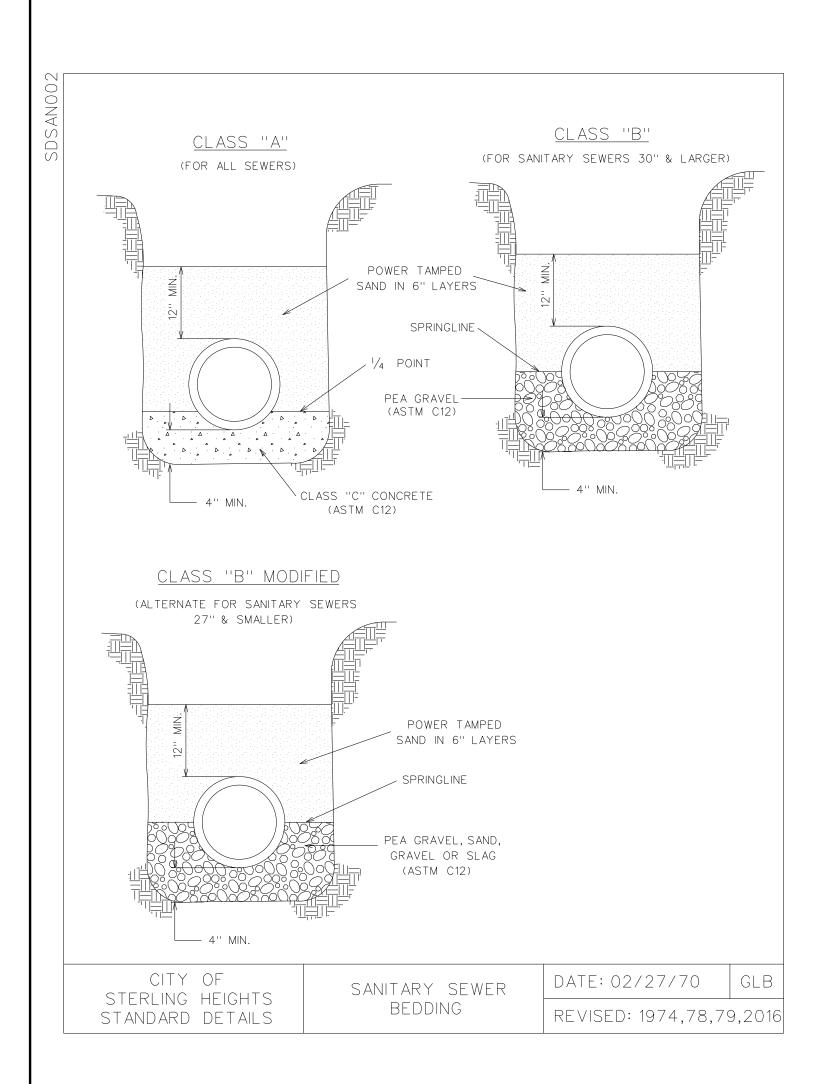
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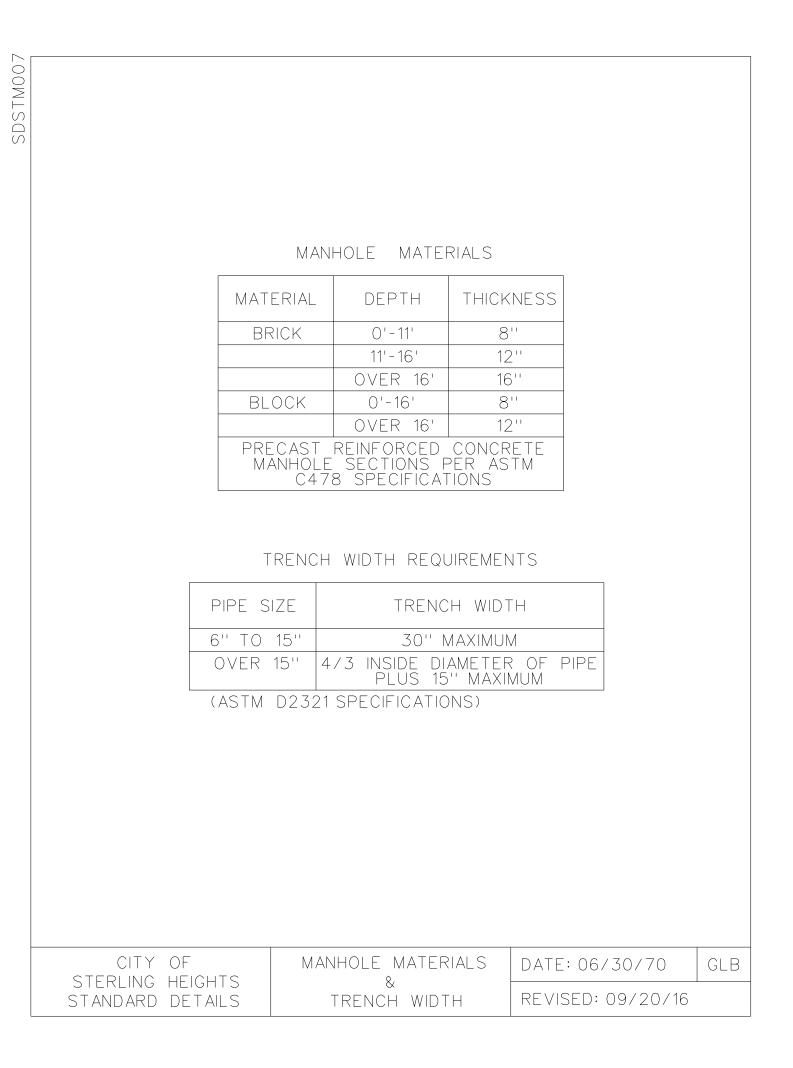
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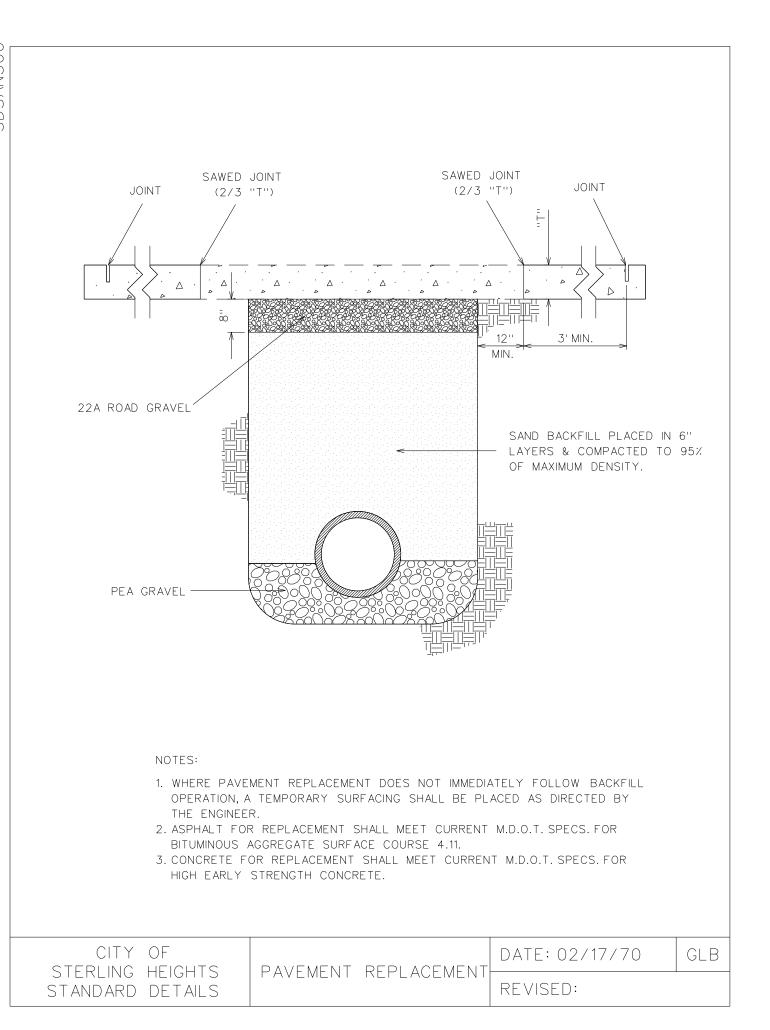
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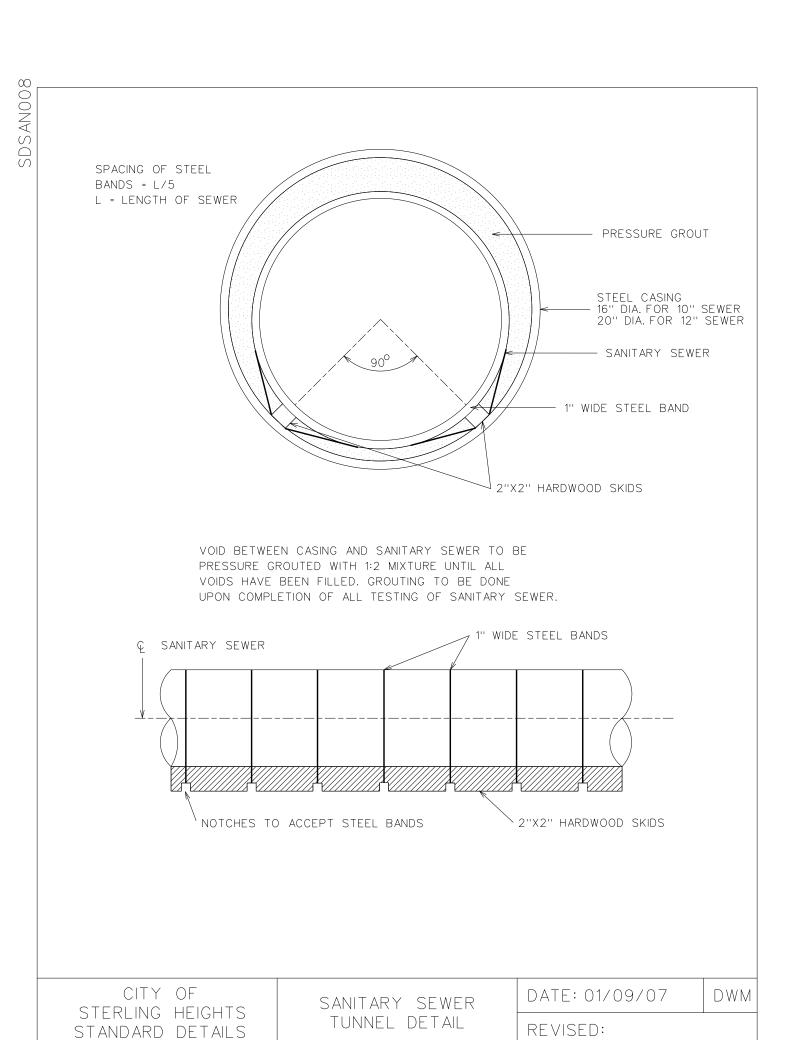
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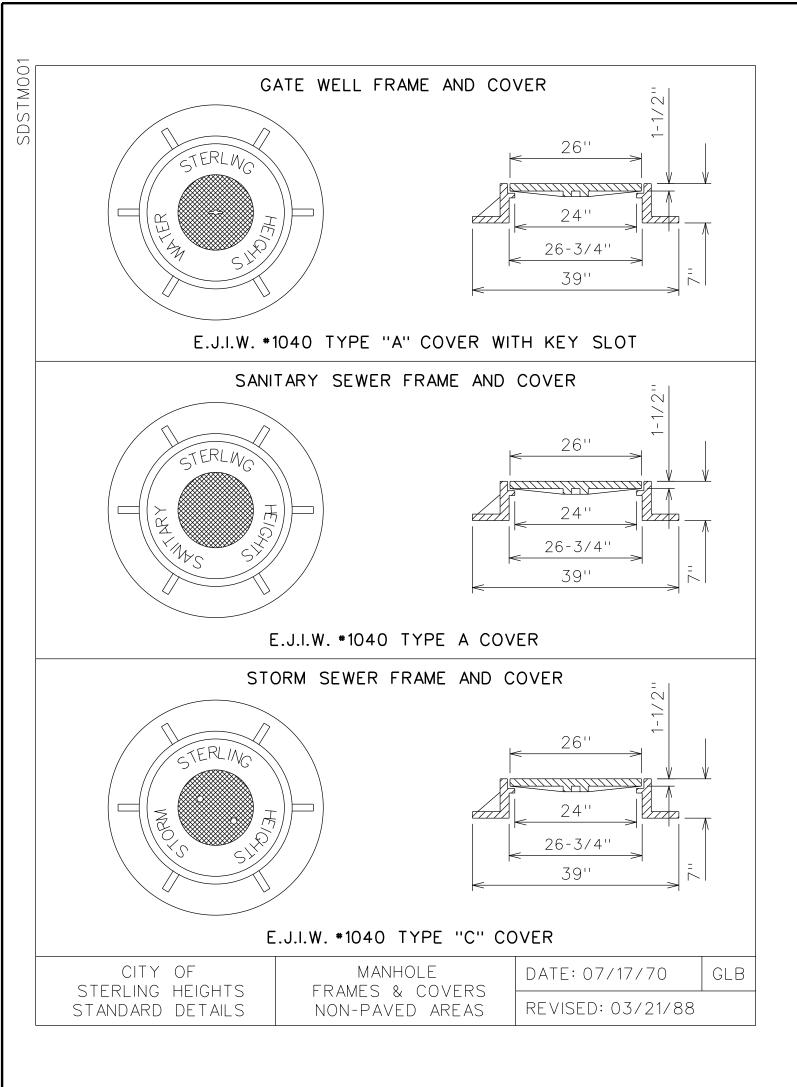
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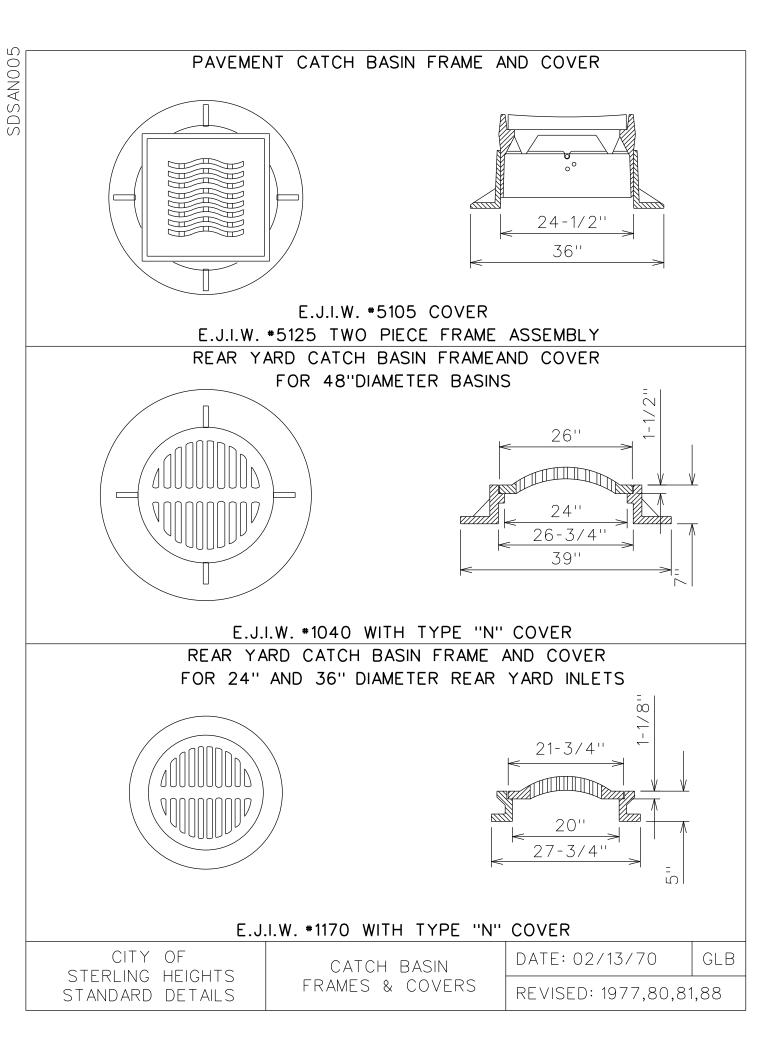


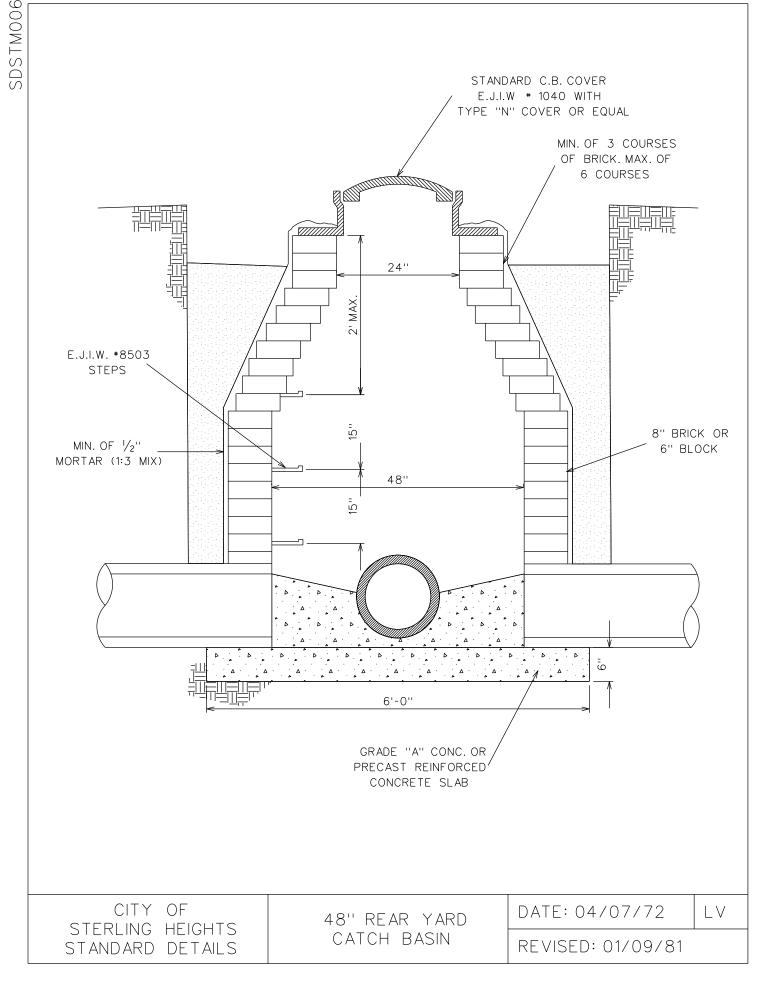


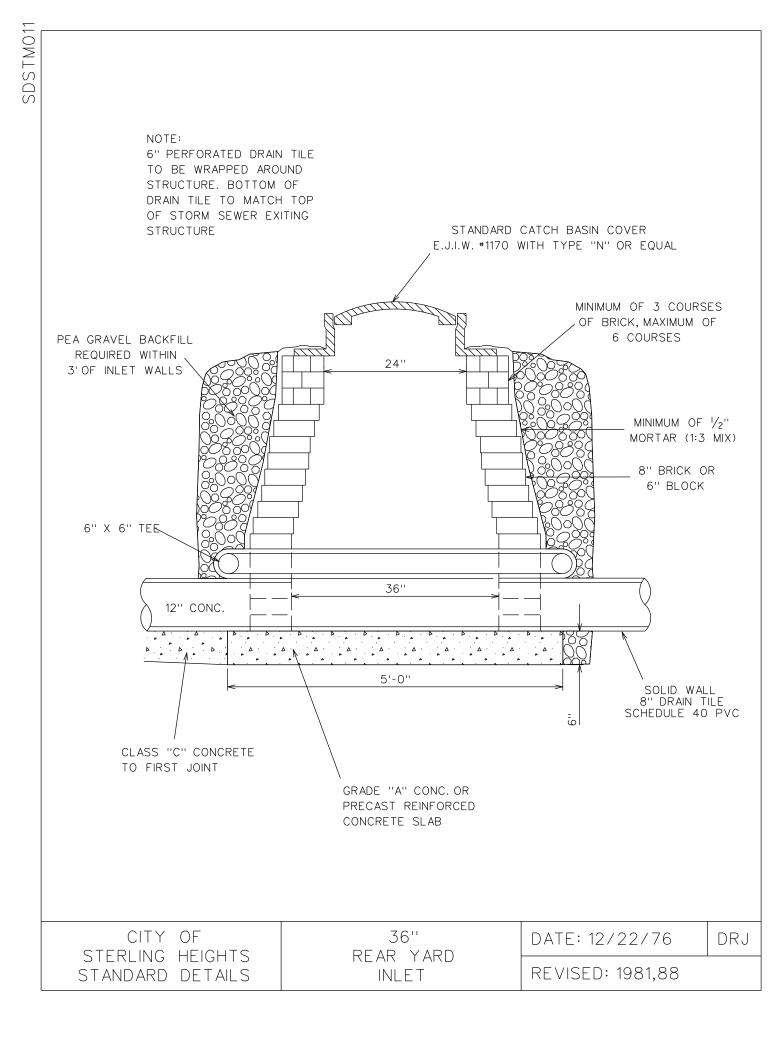


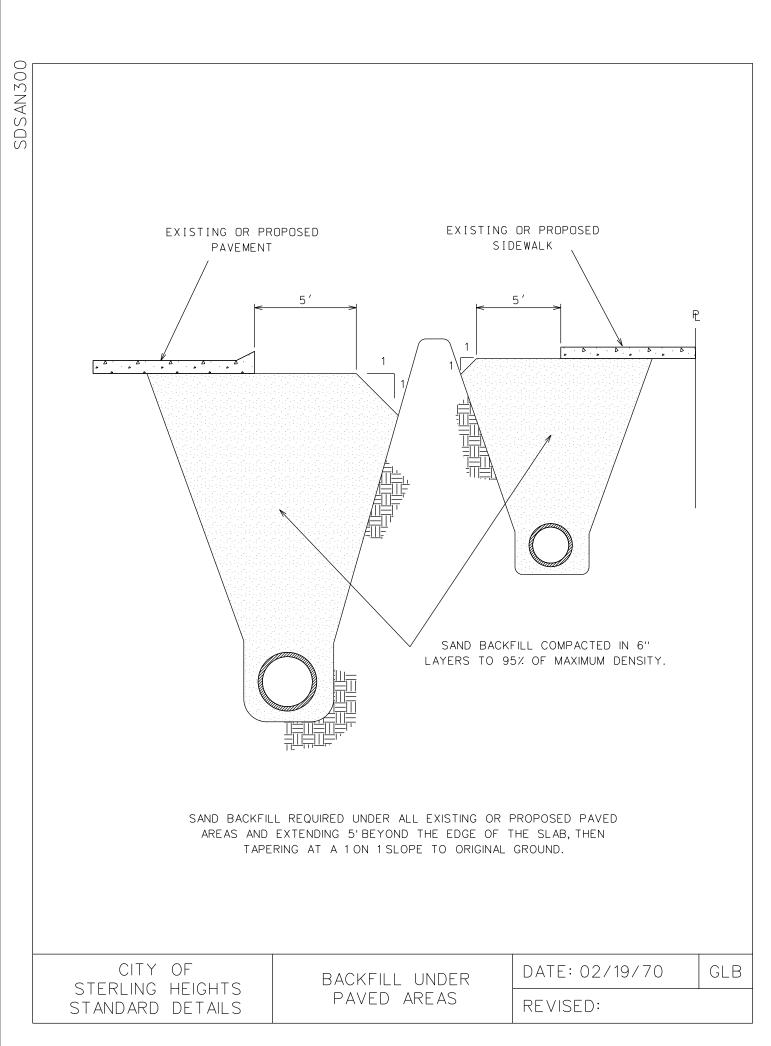


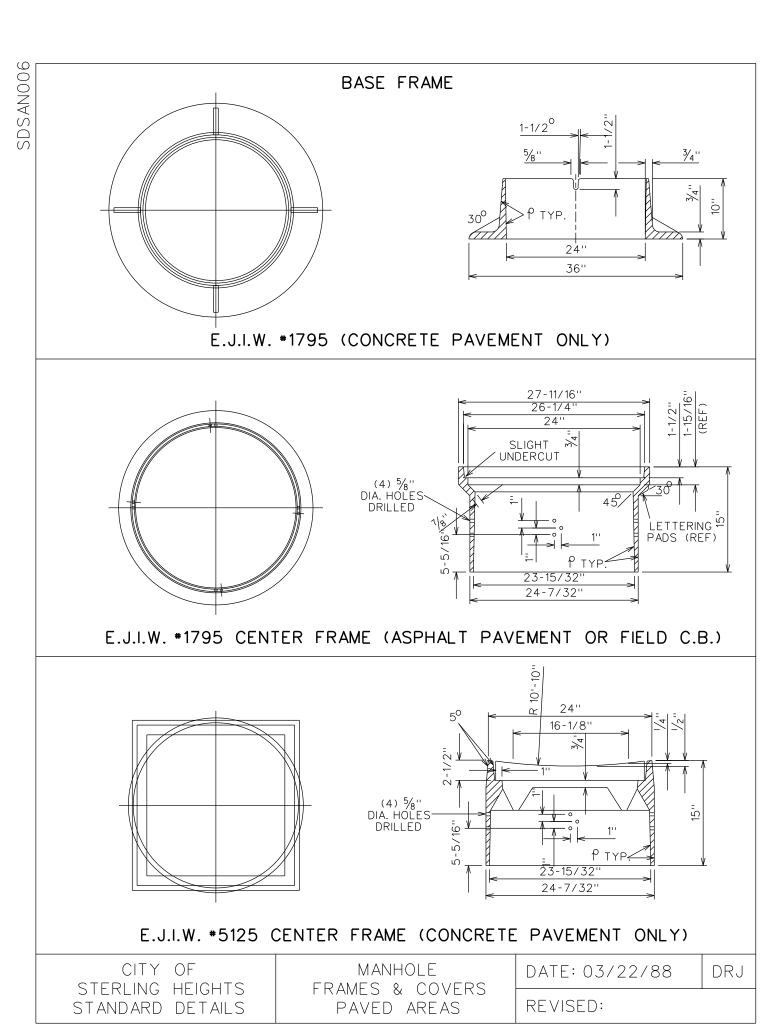


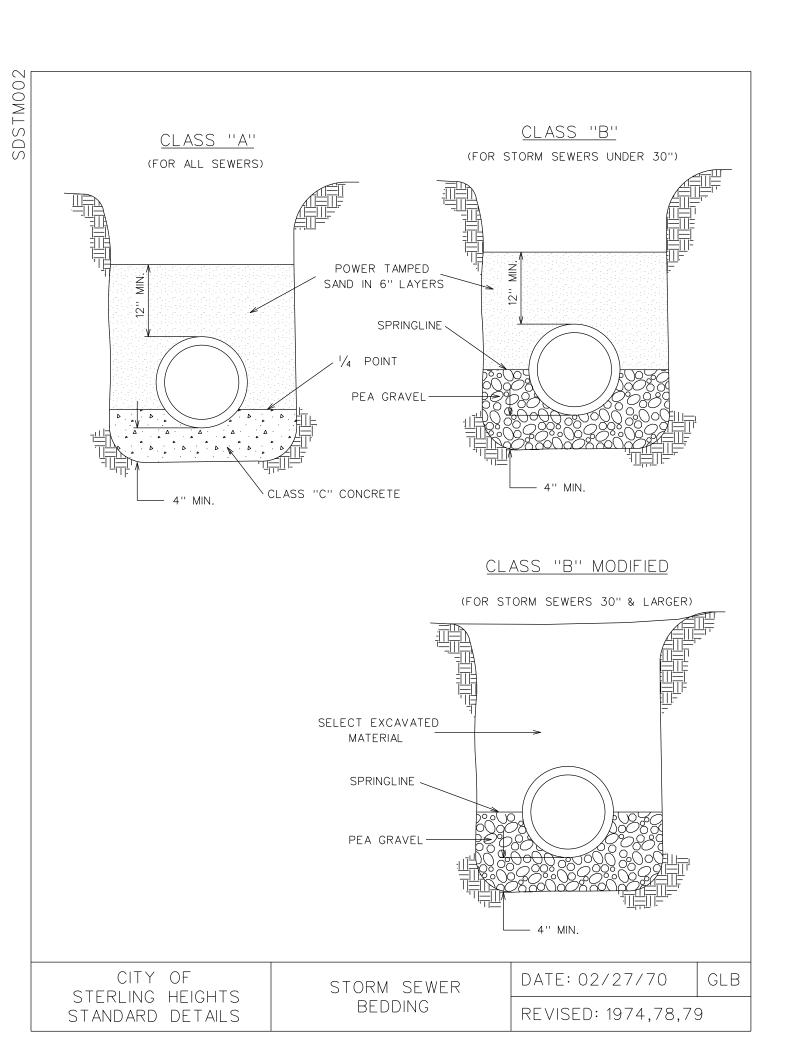


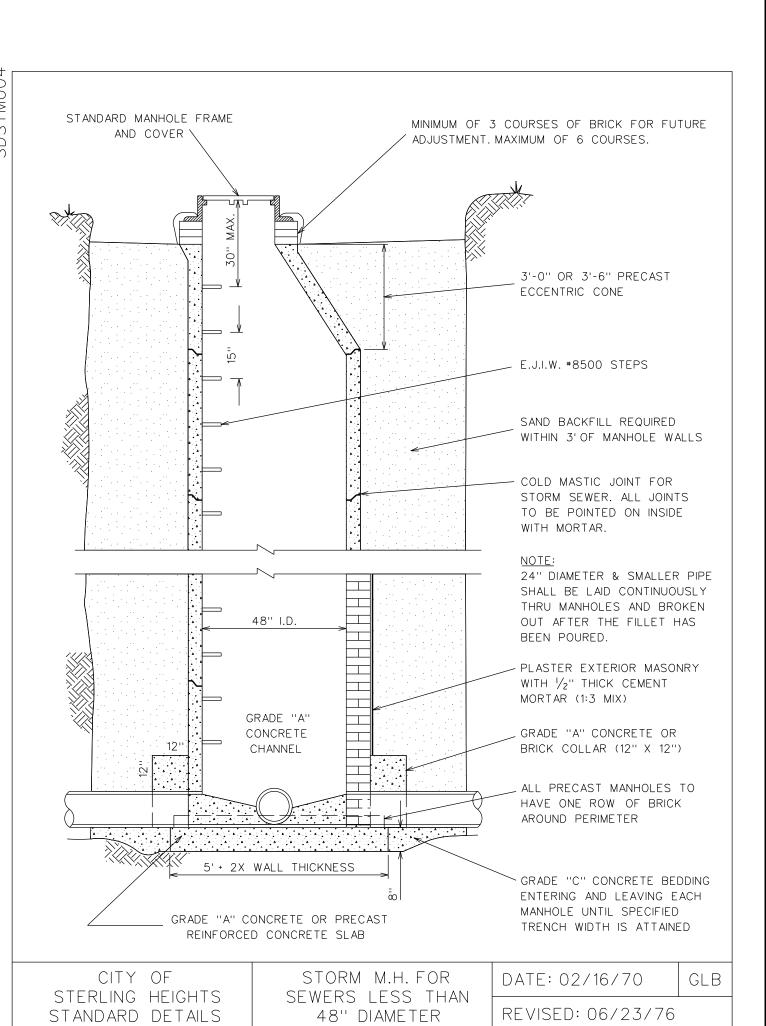






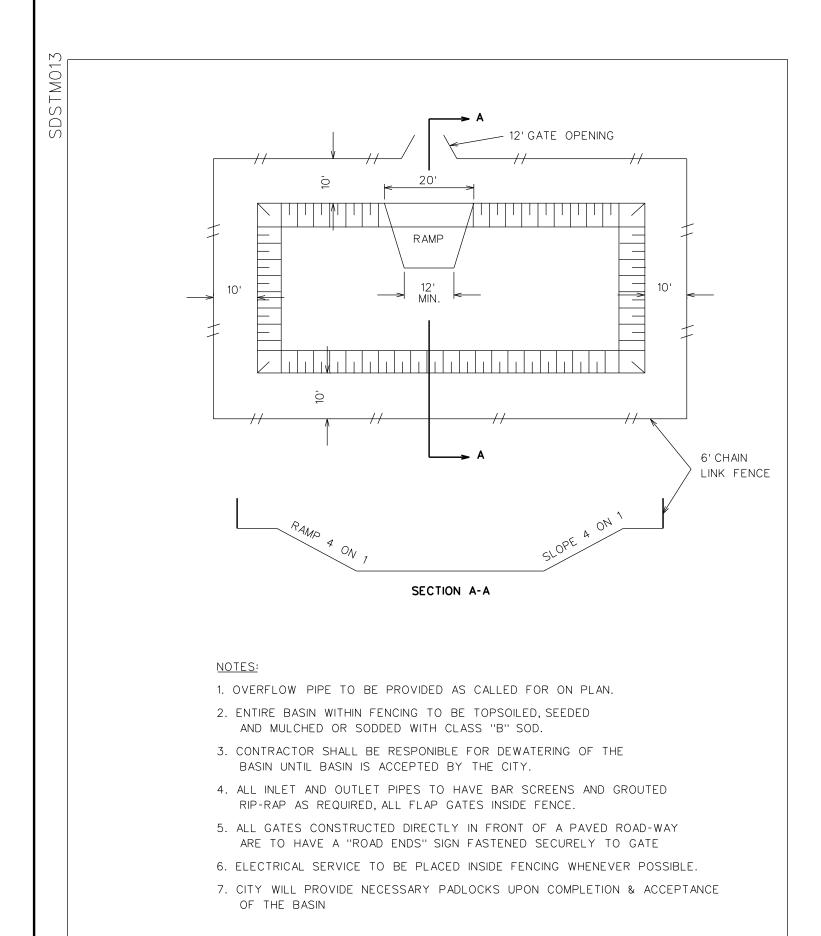


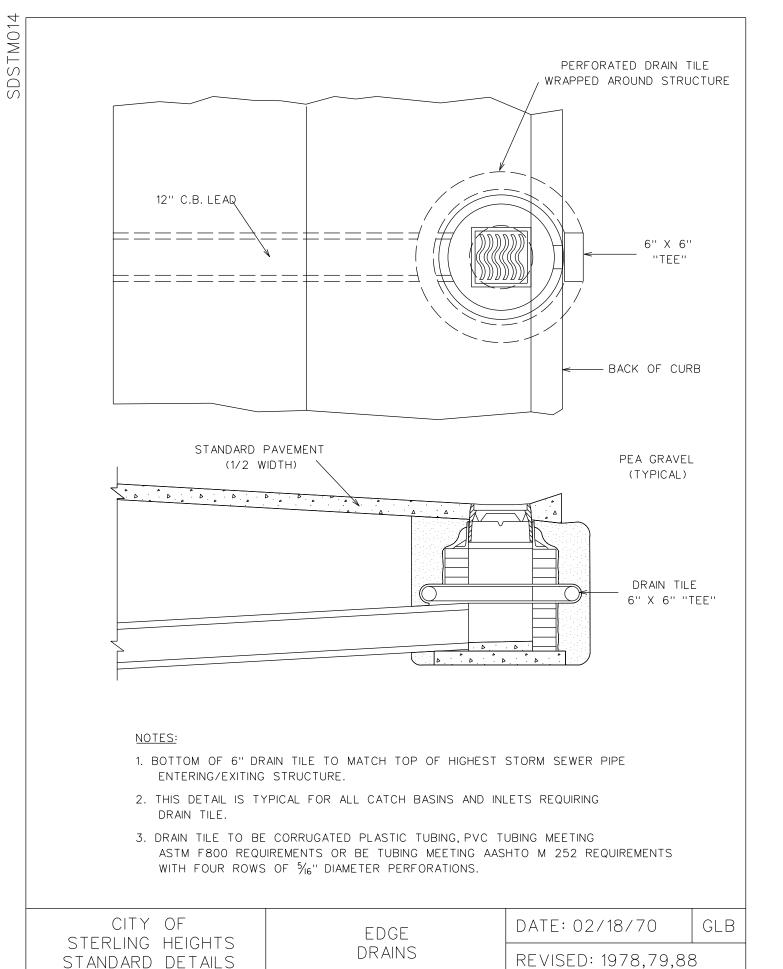


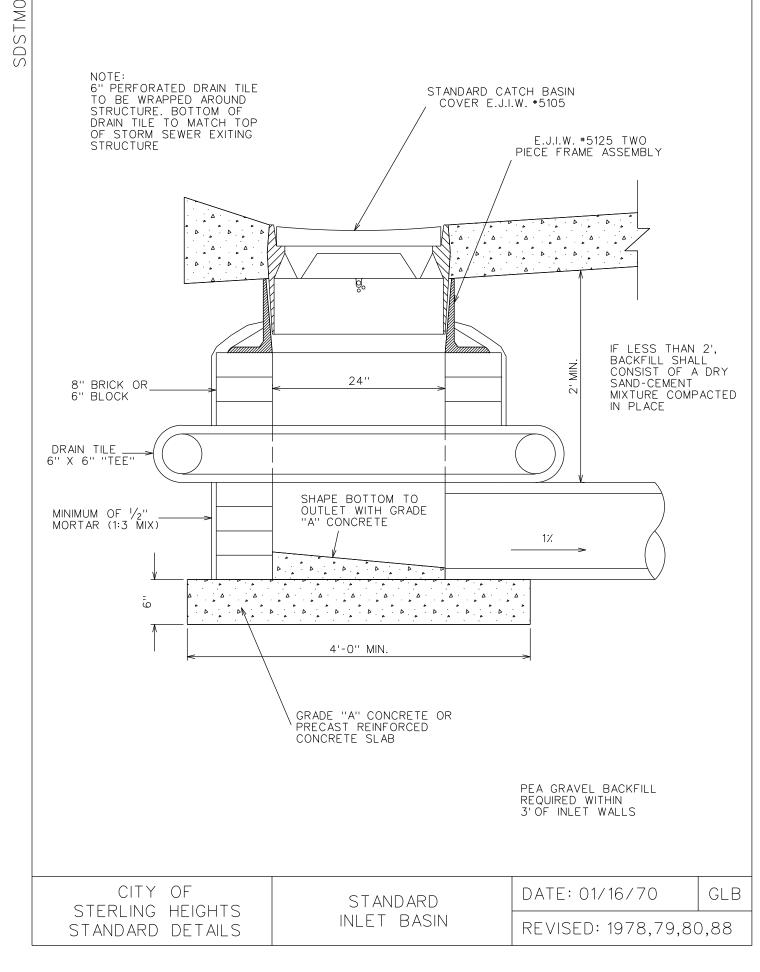


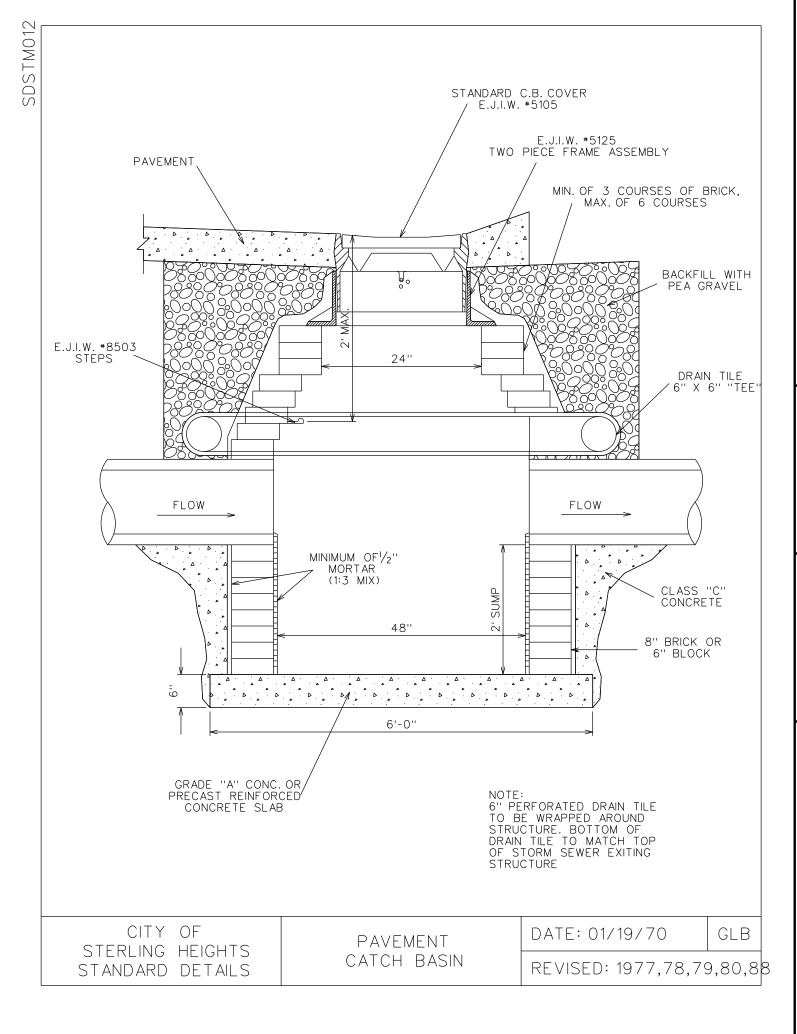
	DATE						
REVISIONS	DESCRIPTION						
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CITY OF STERLING HEIGHTS DRAWN: DWM	4	P.O. BOX 8009	OCCUPATION THE CHILDIAN CONTRACTOR	SIEKLING HEIGHIS, MI 48311-8009		N (586) 446-2489	
PROJECT INFORMATION	LOCATION: CITY OF STERLING HEIGHTS	 STATION:		C.P. NO.: SECTION:	_	FILENAME: F:\DRAW\DETAILS\DSHT04.DGN	
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BASIN

DATE: 02/03/70 | GLB

REVISED: 1977,77,79,80

GLB

CITY OF

STERLING HEIGHTS

STANDARD DETAILS

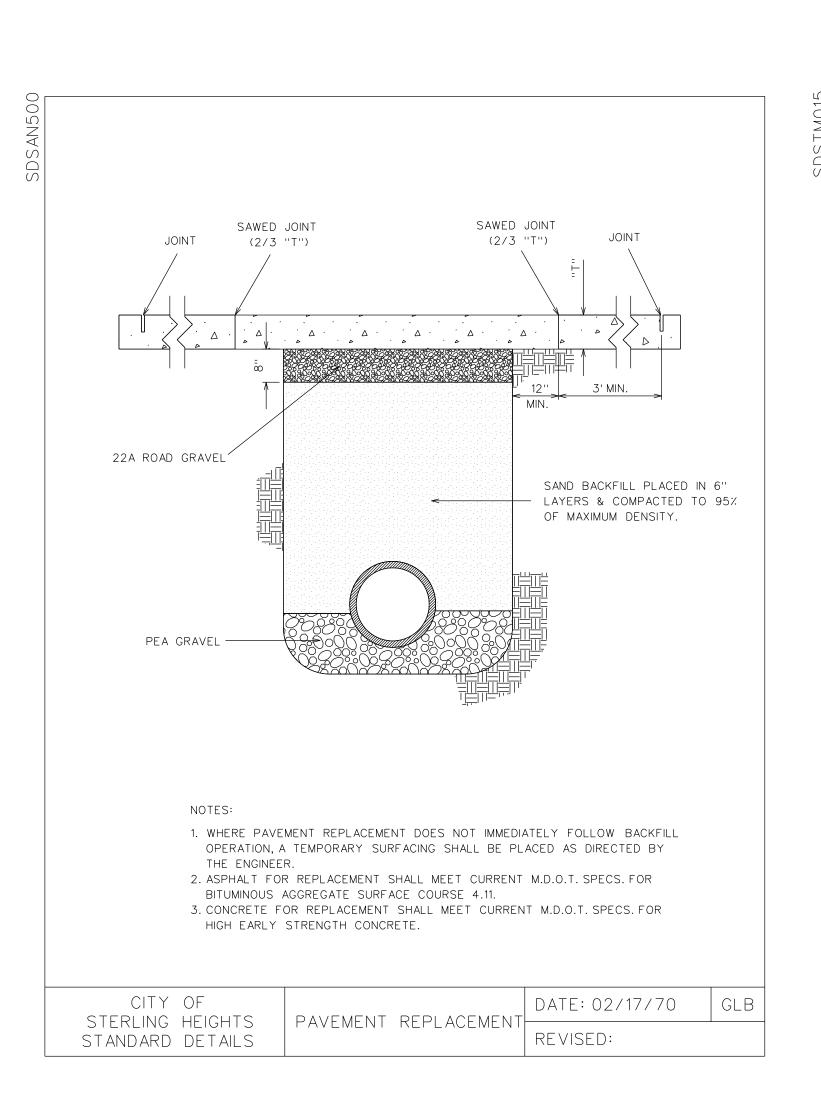
MATERIAL	DEPTH	THICKNESS
BRICK	0'-11'	8''
	11' - 16'	12''
	OVER 16'	16''
BLOCK	0'-16'	8''
	OVER 16'	12''

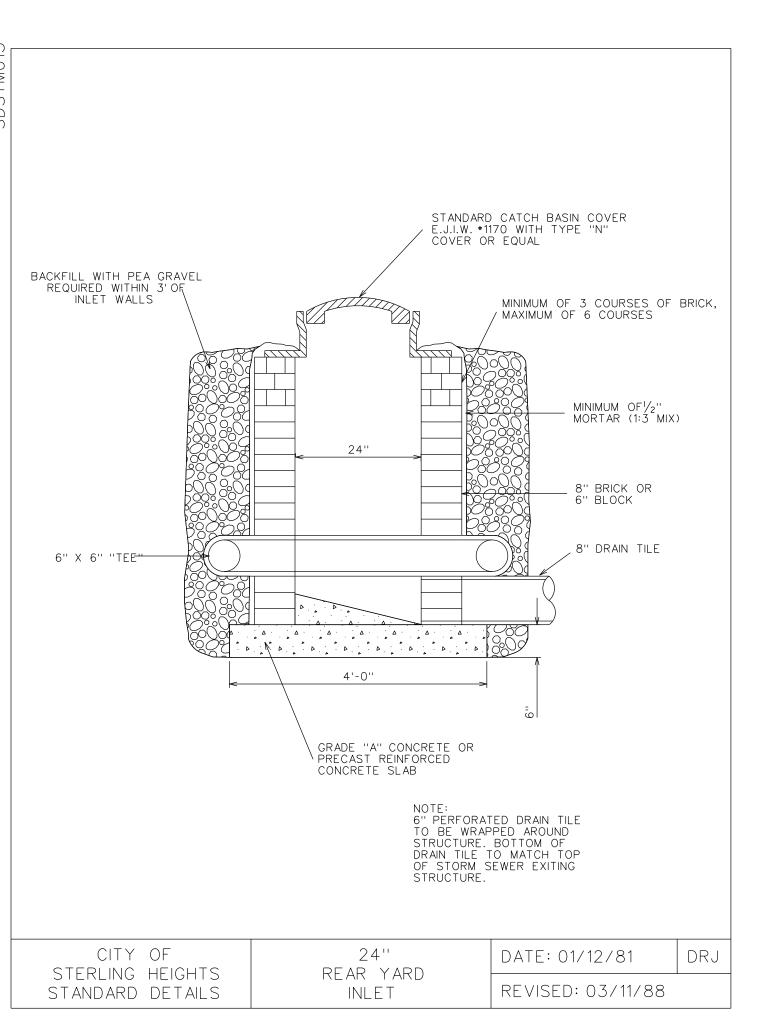
MANHOLE MATERIALS

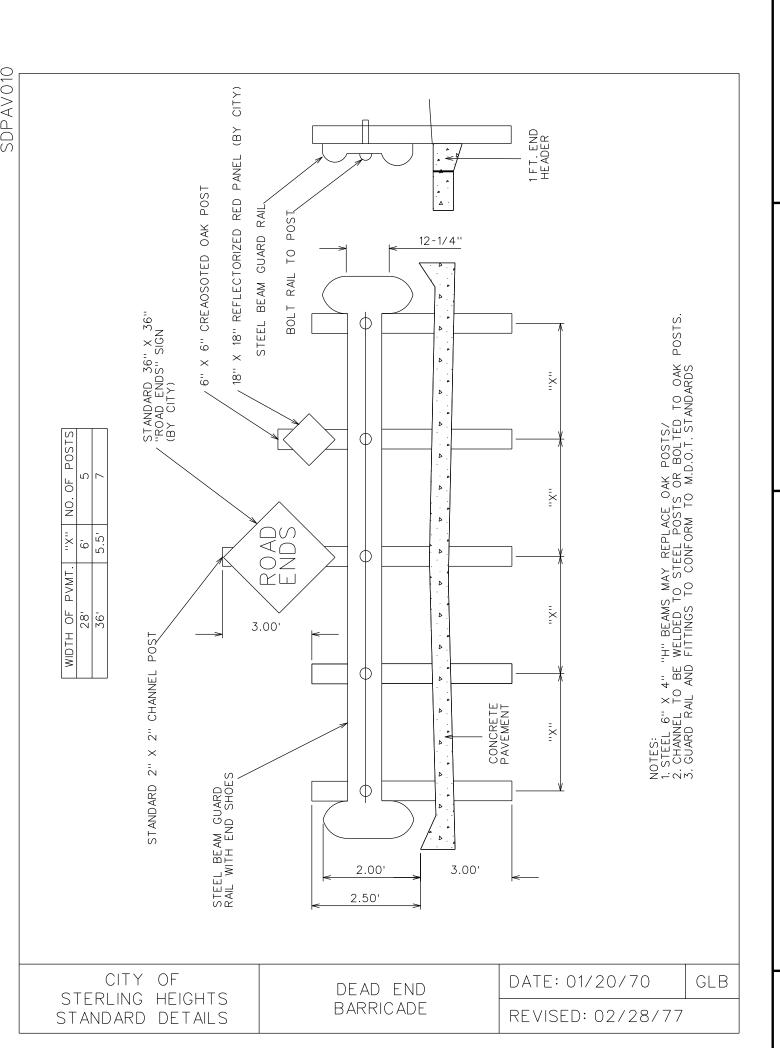
## TRENCH WIDTH REQUIREMENTS

PIPE SIZE	TRENCH WIDTH
6" TO 12"	30" MAXIMUM
15" TO 30'	' OUTSIDE DIAMETER + 12''
36" TO 60'	' OUTSIDE DIAMETER + 18''
OVER 60"	OUTSIDE DIAMETER + 24"

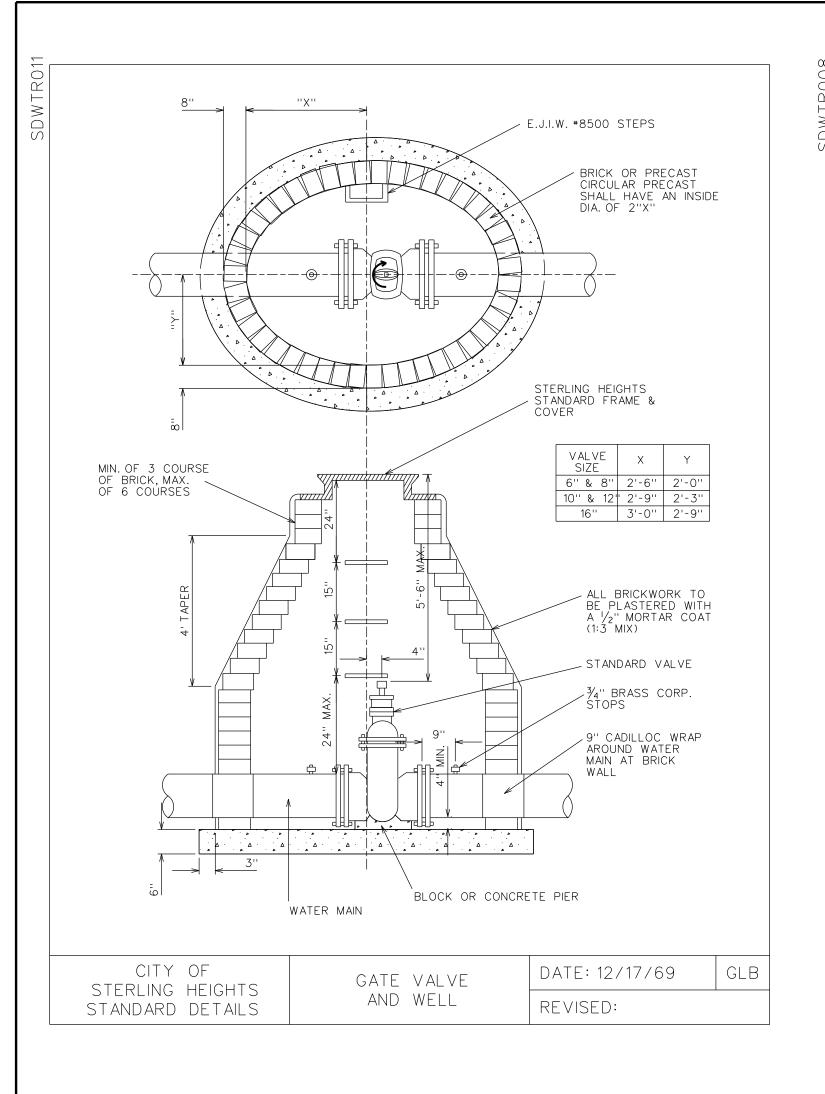
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STERLING HEIGHTS STANDARD DETAILS	* Trench width	REVISED:

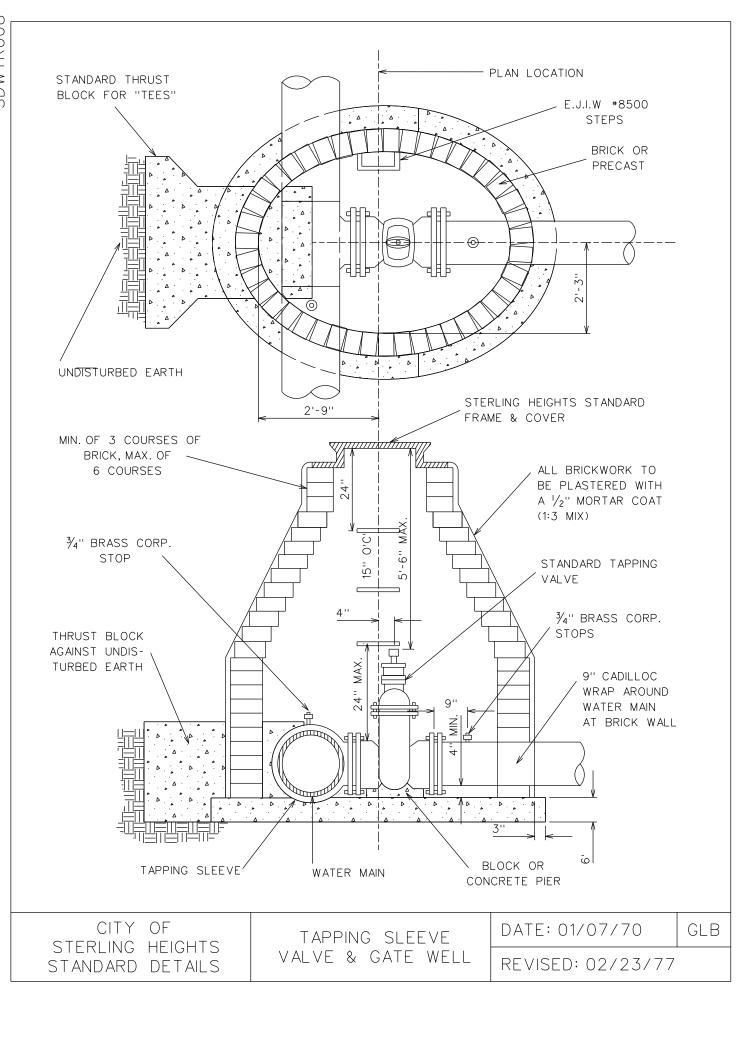


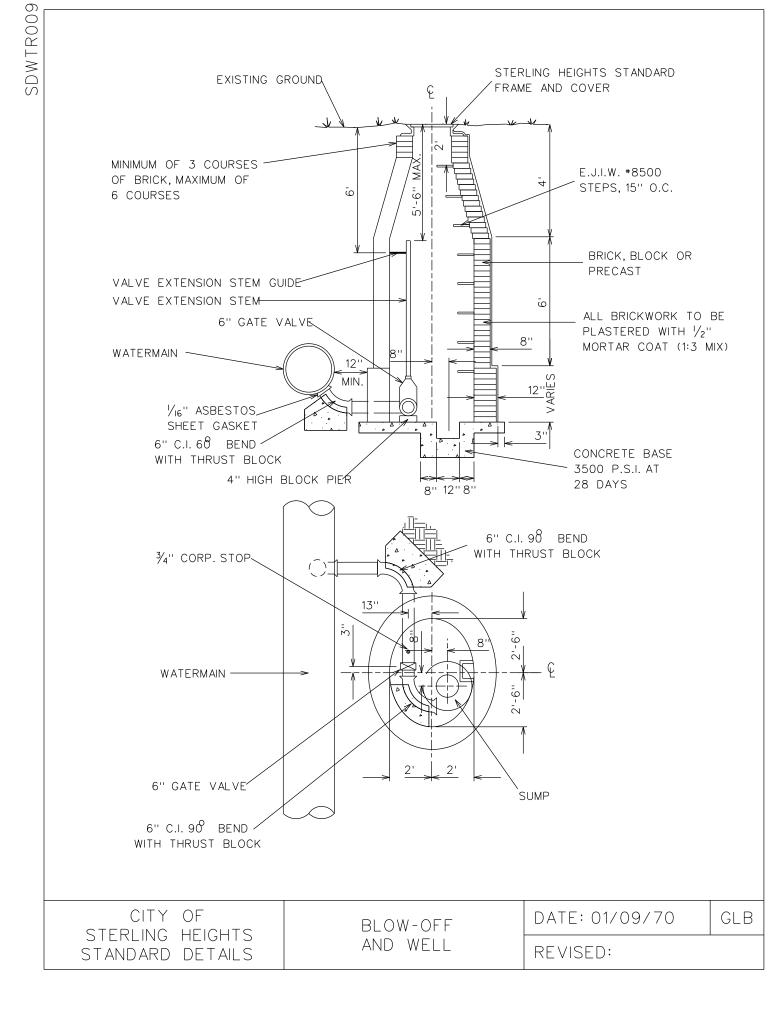


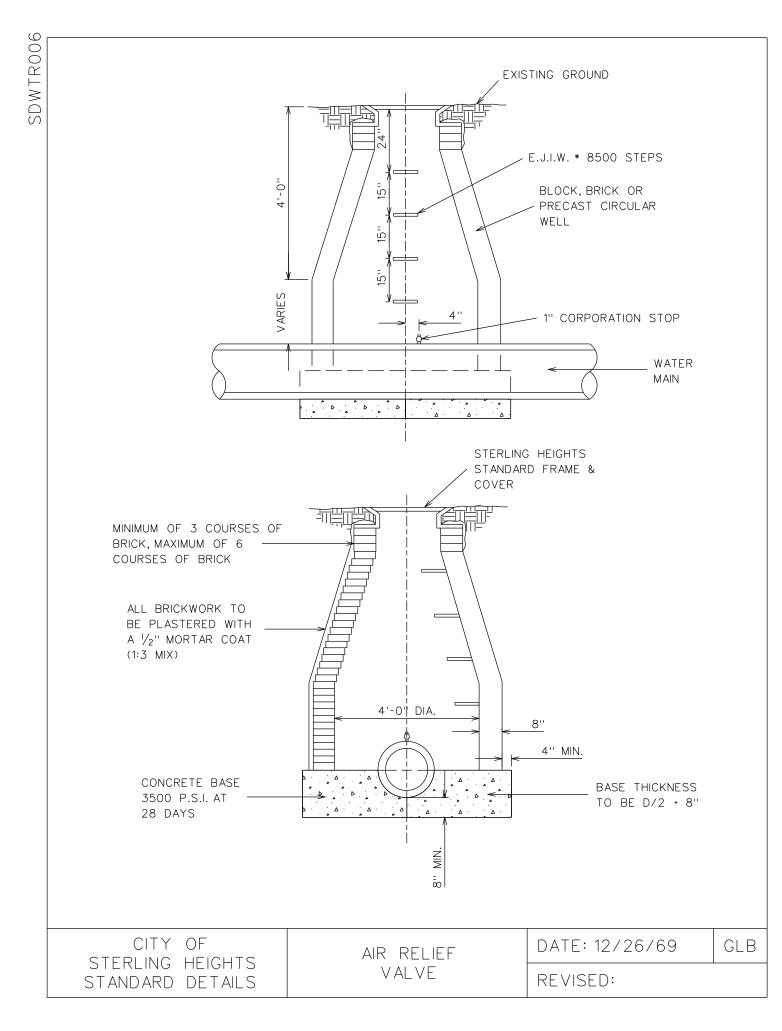


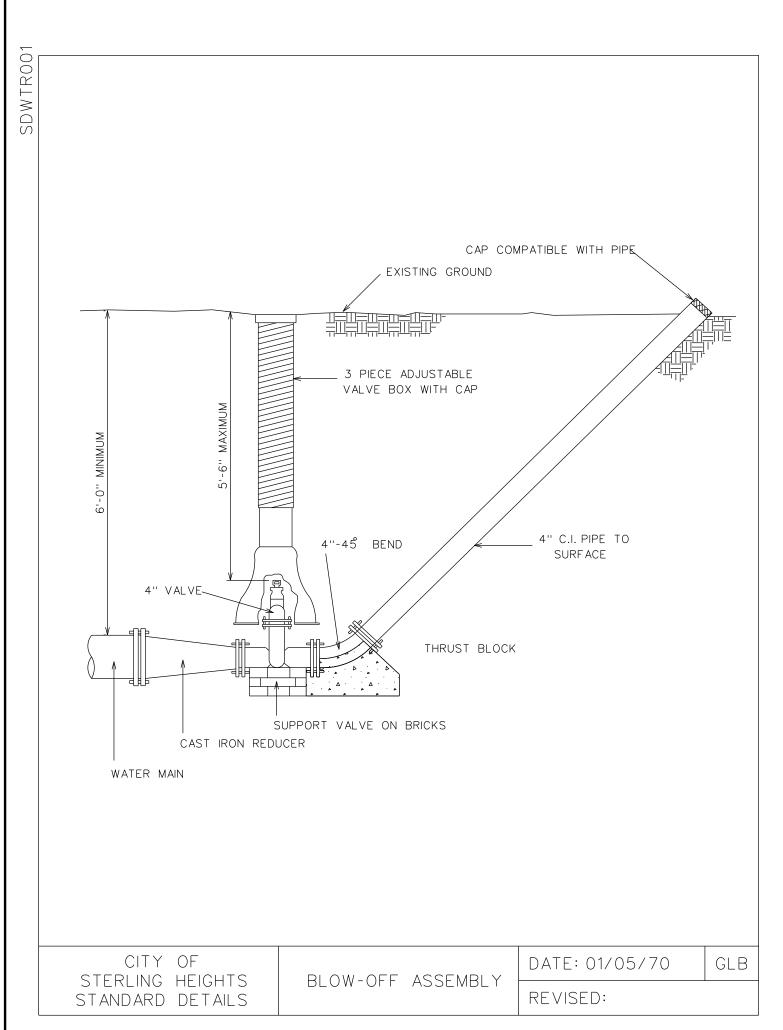
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,88	CITY OF STERLING HEIGHTS		P.O. BOX 8009	SIEKLING HEIGHIS, MI 403II-0009	(586) 446-2489	
	PROJECT INFORMATION	LOCATION: CITY OF STERLING HEIGHTS	STATION:	C.P. NO.: SECTION:	FILENAME: F:\DRAW\DETAILS\DSHT05.DGN	
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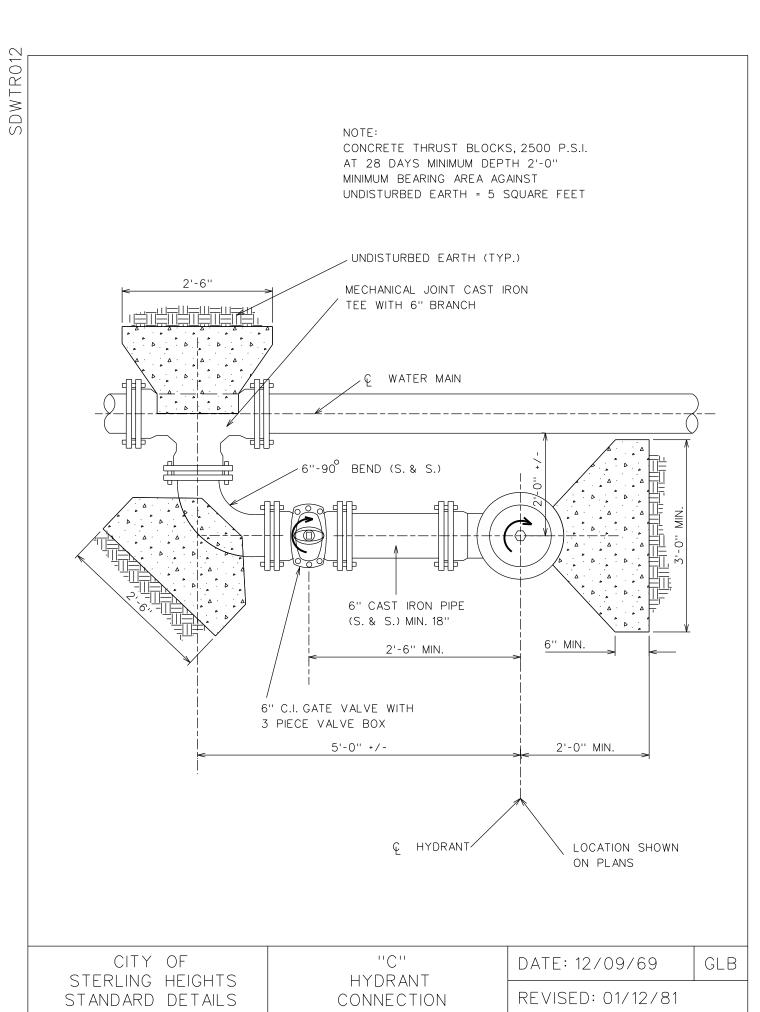


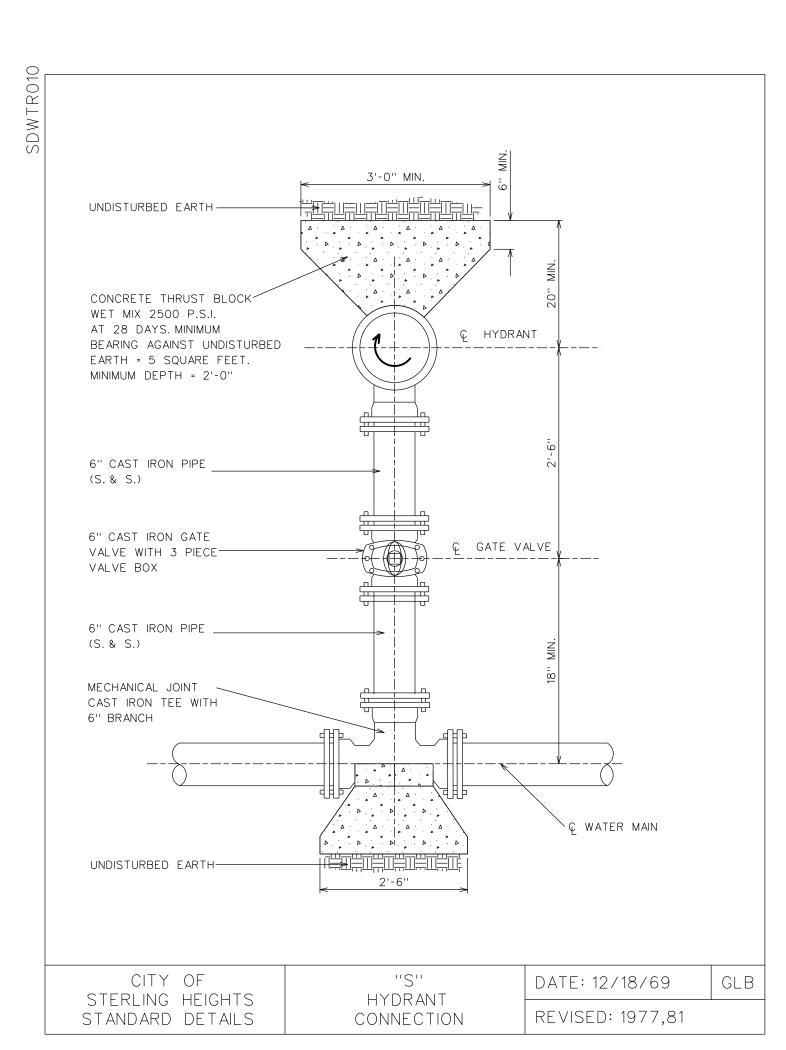


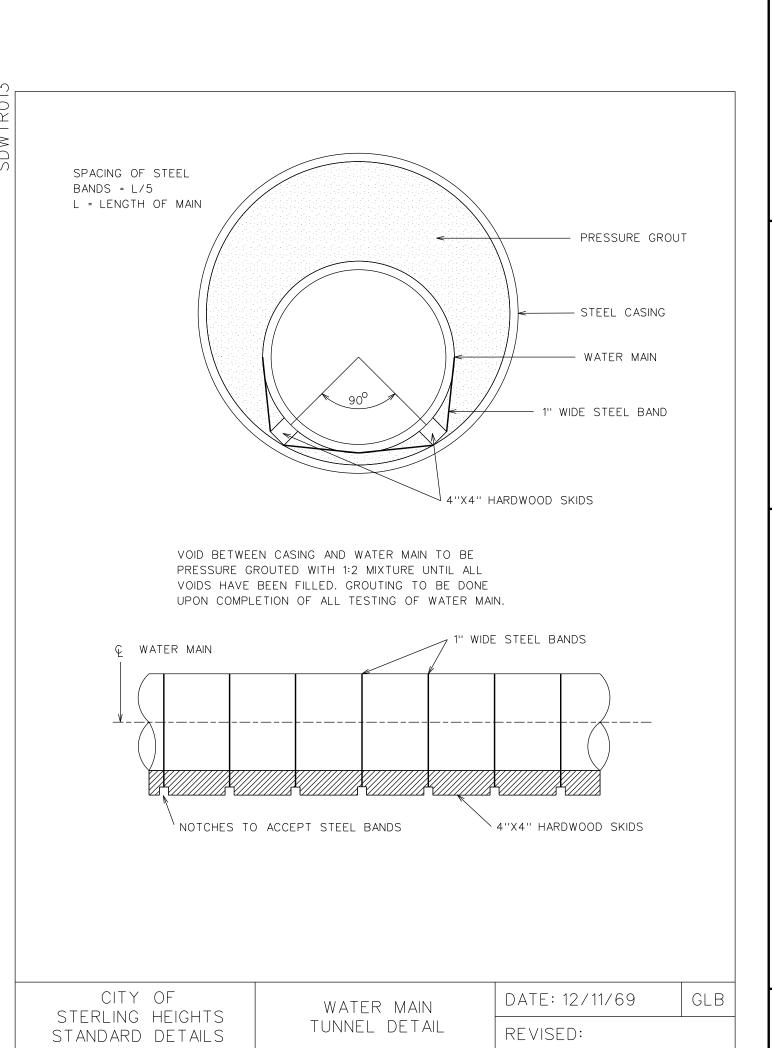




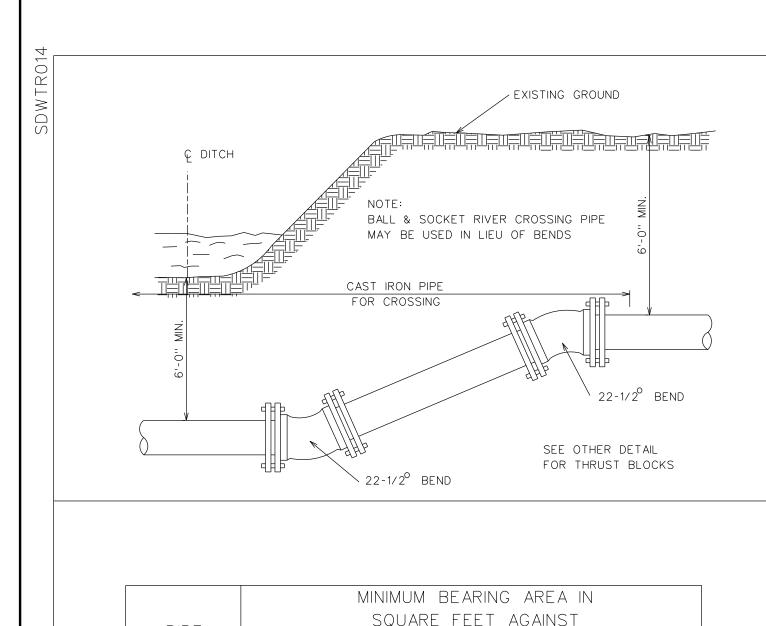


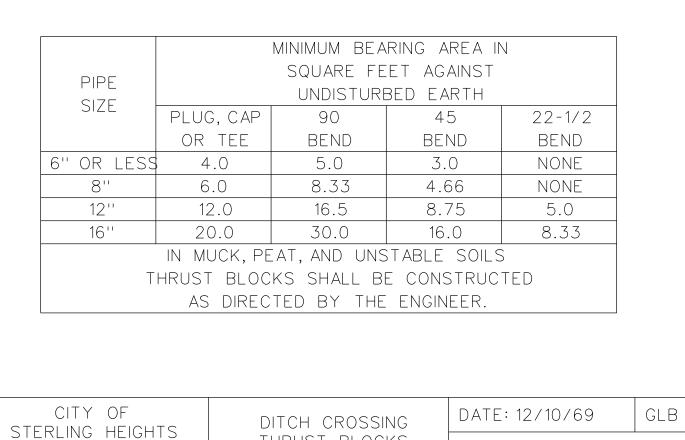






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PROJECT INFORMATION	LOCATION: CITY OF STERLING HEIGHTS	STATION:	C. P. NO.:		FILENAME: F:\DRAW\DETAILS\DSHT06.DGN	
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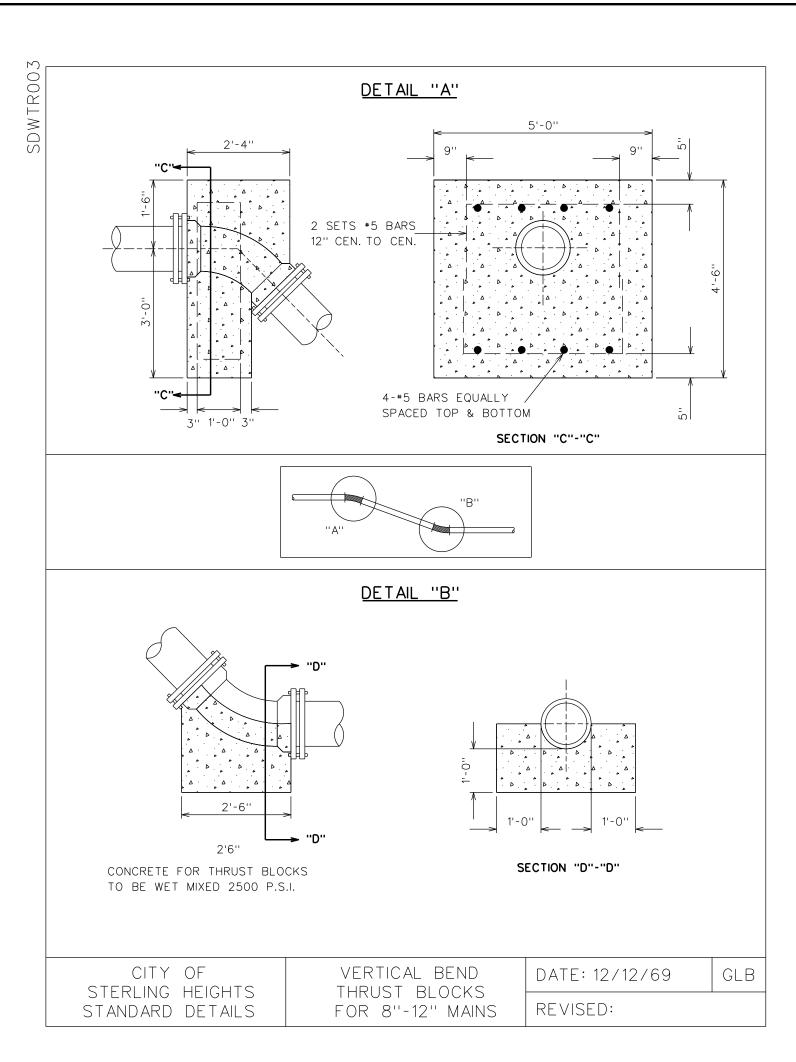


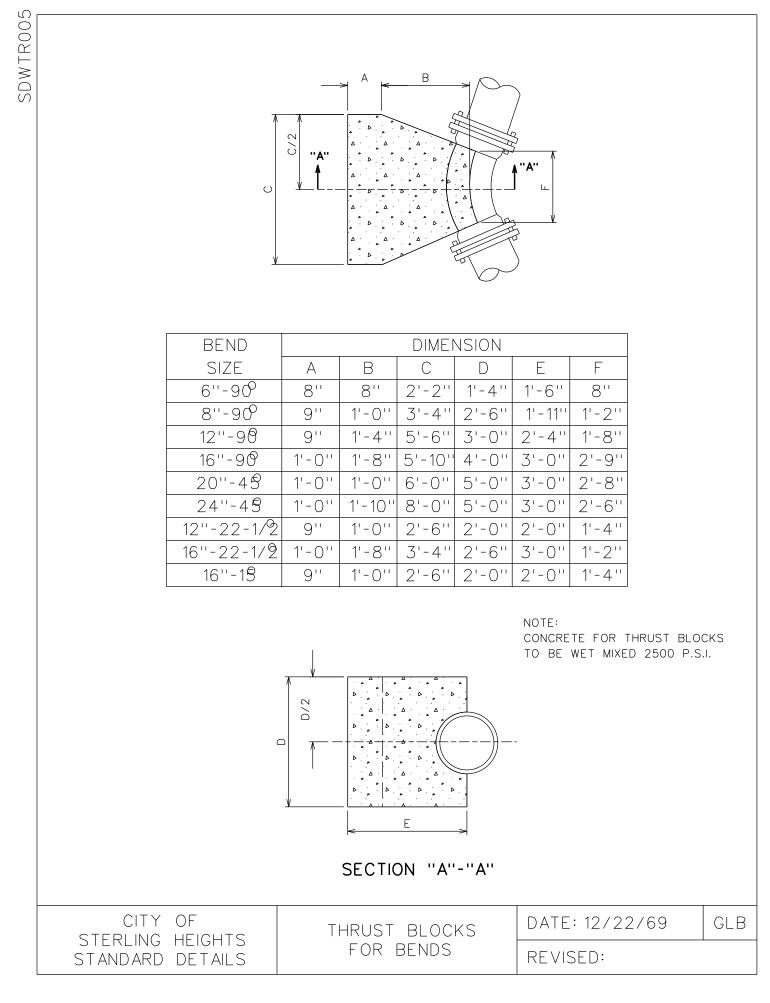


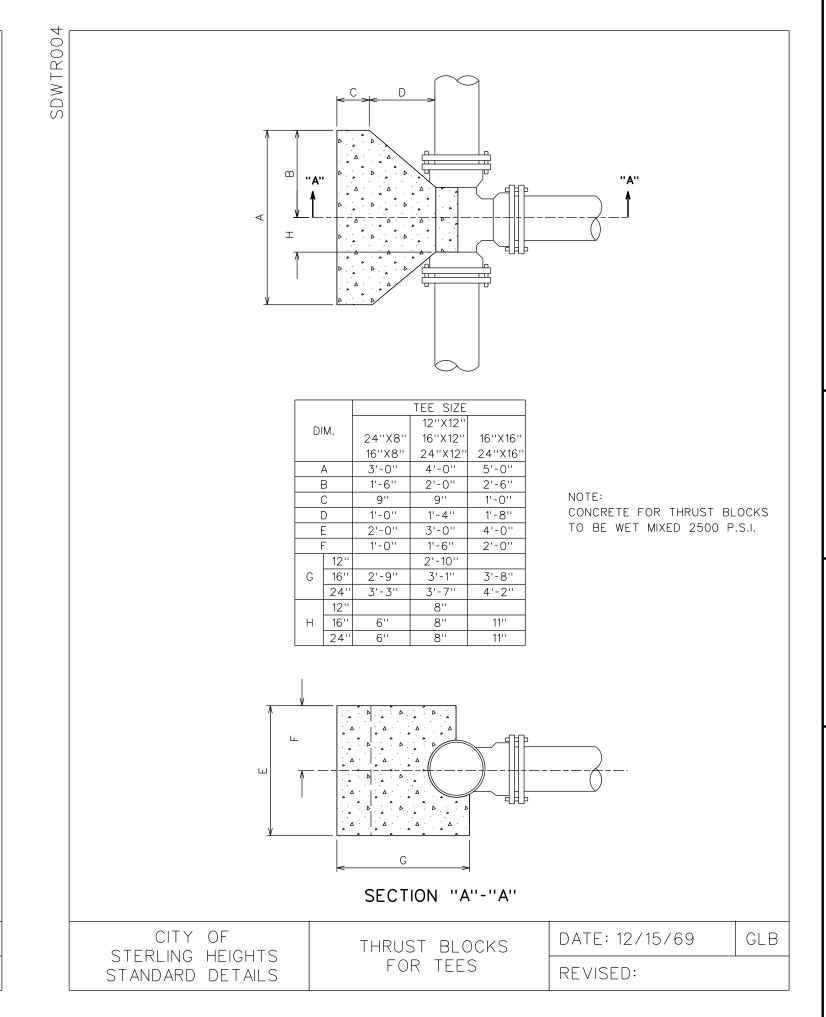
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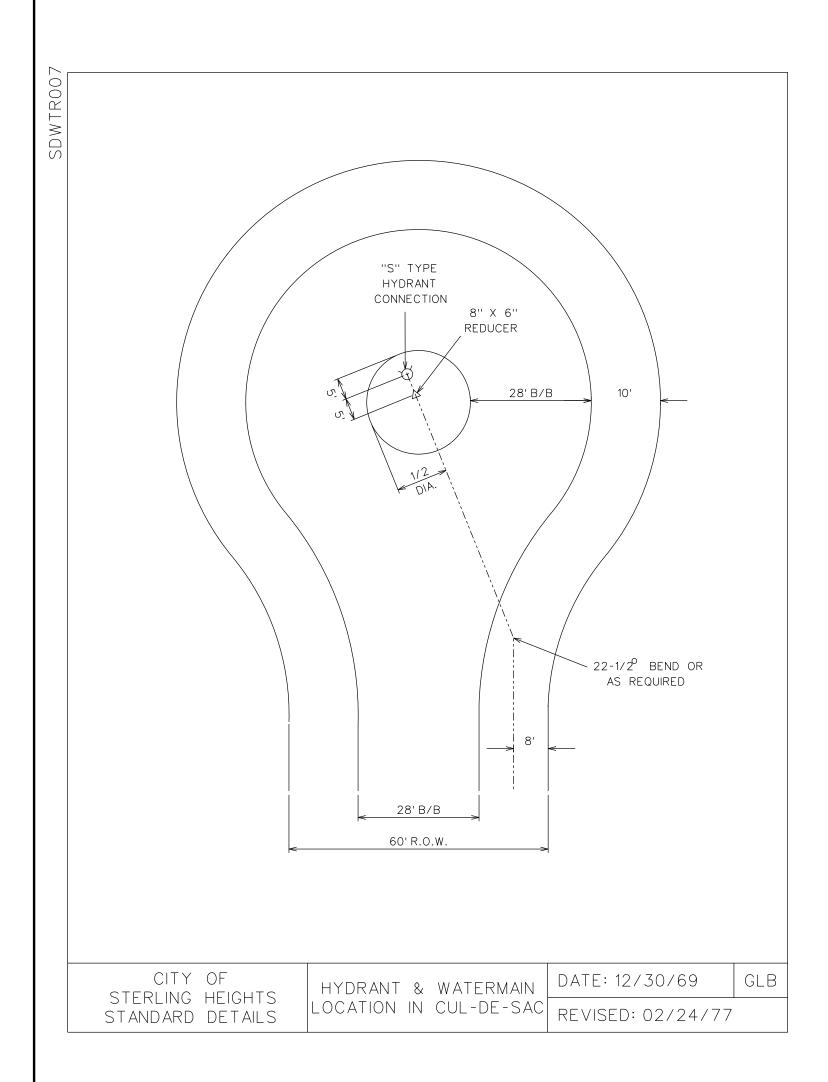
STANDARD DETAILS

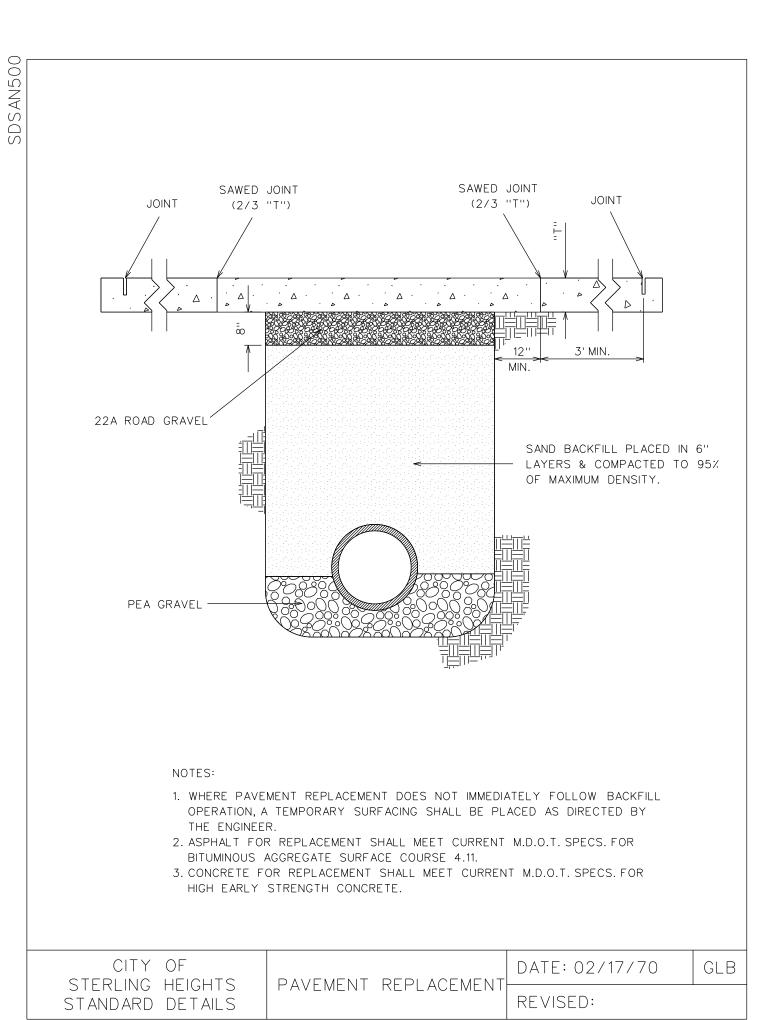
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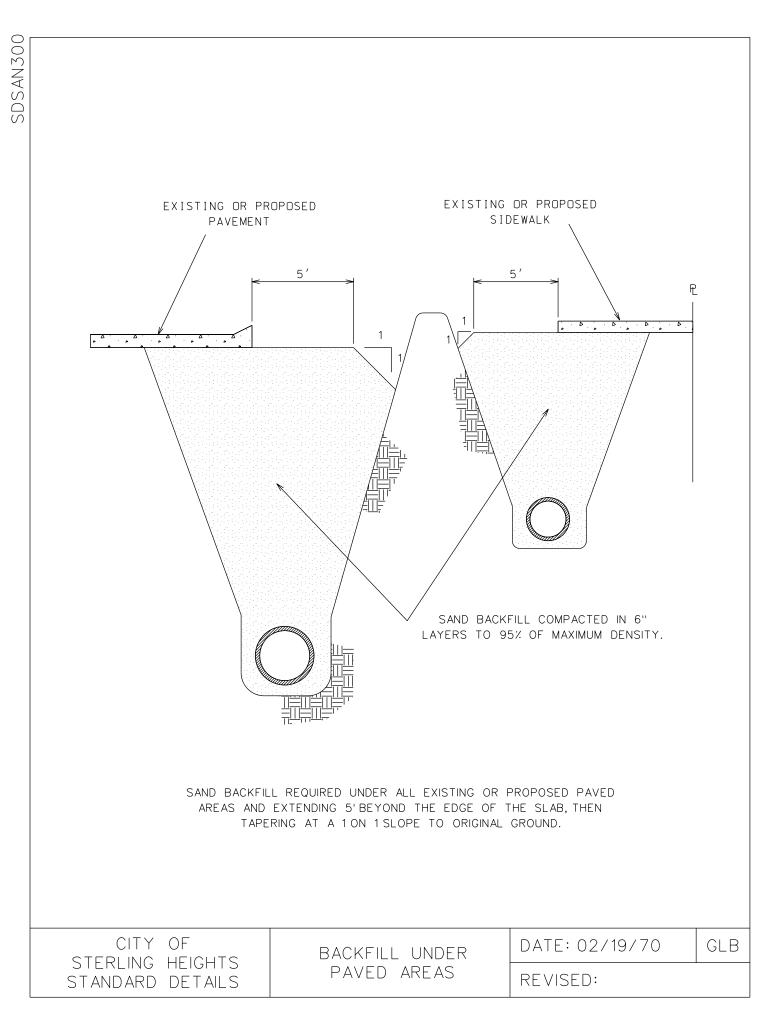


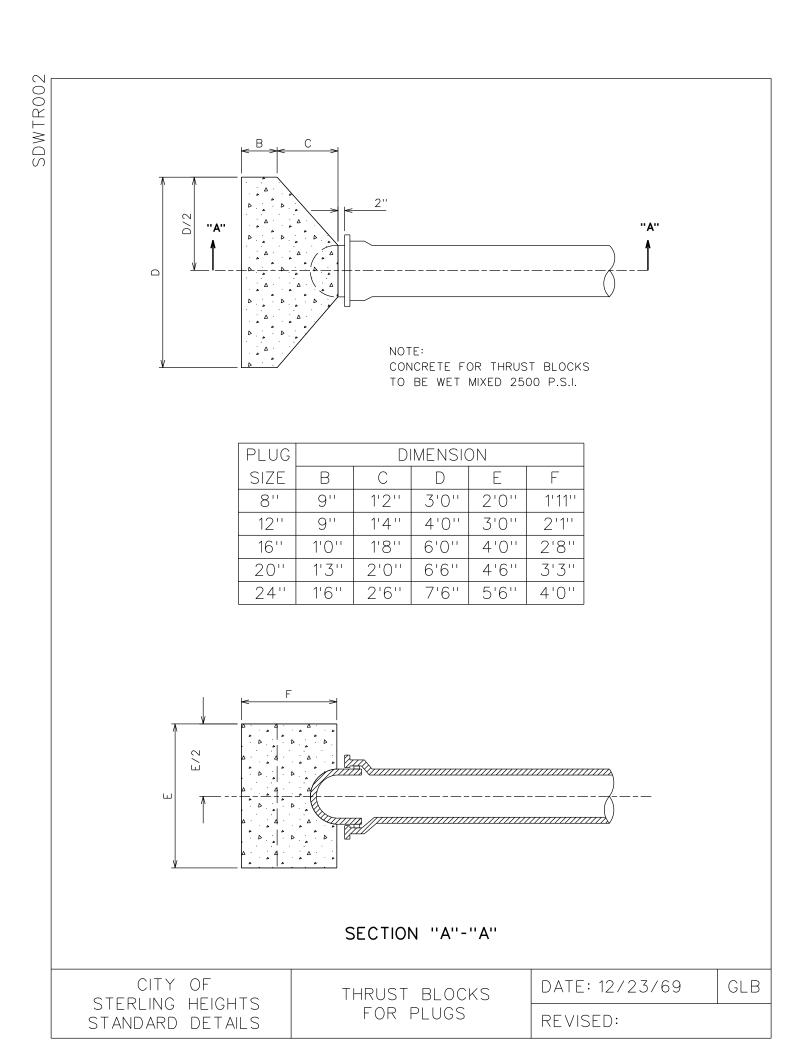












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## LIST OF DRAWINGS (Section revised June 29, 2017 as part of Addendum #1)

T001 T002 A001 A002 M0.0 M7.1 M7.2 E0.0 E7.1	Cover Sheet Sheet Index/Project Data Barrier Free Standards General Structural Notes Mechanical General Information Mechanical Details Mechanical Details Electrical General Information Electrical Details
SP01 SP02 SP03 SP04 SP05 SP06 SP07 SP08 SP09 SP10 SP11 SP12 SP13 SP14 SP15	Site Plan Keyed Site Notes/Site Amenities Partial Enlarged Site Plan Partial Enlarged Site Plan Partial Enlarged Site Plan - Sand Volleyball Courts, Basketball Court, and Pavilion #4 Partial Enlarged Site Plan - Mini Soccer Field and Pavilion #3 Partial Enlarged Site Plan - Pavilion #2 and Renovated Restroom Building Partial Enlarged Site Plan - Splash Pad/Park and Pavilion #1 Partial Enlarged Site Plan - Farmers Market Partial Enlarged Site Plan - Fire Pit Area and Pavilion #5 Partial Enlarged Site Plan - Amphitheater Site Details Site Details - Mini Soccer Field Details Site Details - Sand Volleyball Court Details Site Details - Splash Park Details
C-0 C-1 C-2 C-3 C-4 C-5 C-6 C-7 C-8 C-9 C-10 C-11 C-12 C-13 C-14 C-15 1 of 1 1 of 7 2 of 7	Civil Cover Sheet Boundary / Topographic / Tree Survey Boundary / Topographic / Tree Survey Existing Structure Table Demolition Plan Demolition Plan Dimensional Site Plan Dimensional Site Plan Paving & Grading Plan Paving & Grading Plan MDOT M0730a Detail Utility Plan Utility Plan Storm and Sanitary Sewer Profiles Soil Erosion / Sedimentation Control Plan Soil Erosion / Sedimentation Control Plan City of Sterling Heights Standard Details Notes City of Sterling Heights Standard Details Sanitary

4 of 7 5 of 7 6 of 7 7 of 7	City of Sterling Heights Standard Details Storm City of Sterling Heights Standard Details Storm City of Sterling Heights Standard Details Watermain City of Sterling Heights Standard Details Watermain
MD0.1 MD0.2 M0.1 M0.2	Mechanical - Site Mechanical Site Demolition Plan Mechanical Site Demolition Plan Mechanical Site Plan - New Work Plan Mechanical Site Plan - New Work Plan
ED0.1 ED0.2 E0.1 E0.2	Electrical - Site Electrical Site Demolition Plan Electrical Site Demolition Plan Electrical Site New Work Plan Electrical Site New Work Plan
LS-1 LS-2 LS-3 LS-4 LS-5	Landscape Overall Landscape Planting View Landscape Planting Detail Landscape Planting Detail Plant Material List, Planting Details, and Landscape Notes Landscape Planting Detail - Paving Pattern
PAV145-A1	Pavilion #1, 4 & 5 Floor Plan, Foundation Plan and Details
PAV2-A1 E1.1	Pavilion #2 Floor Plan, Foundation Plan and Details Electrical New Work Plan
PAV3-A1 PAV3-A2 PAV3-A3 PAV3-A4 M1.2 E1.2	Pavilion #3 Floor Plan, Foundation Plan and Ceiling Plan Building Elevations Wall Sections Interior Elevations Mechanical New Work Plans Electrical New Work Plan
AMP-A1.1 AMP-A1.2 AMP-A1.3 AMP-A1.4 AMP-A1.5 AMP-A3.1 AMP-A3.2	Amphitheater Foundation Plan Floor Plan Reflected Ceiling Plan Roof Plan Roof Framing Plan Roof Framing Plan Building Elevations Building Elevations

AMP-A4.1	Building Sections
AMP-A5.1	Wall Sections
AMP-A5.2	Wall Sections
AMP-A5.3	Wall Sections
AMP-A6.1	
	Stair and Ramp Details
AMP-A6.2	Ramp Details
<b>AMP-A7.0</b>	Floor Finish Plan
<b>AMP-A7.1</b>	Room Schedule and Door Schedule
M2.1	Plumbing New Work Plan
M2.2	Sheet Metal New Work Plan
E2.1	Electrical New Work Plan
	Farmer's Market
FM-A1.0	Foundation Detail & General Structural Notes
FM-A1.1	Foundation Plan
FM-A1.2	Floor Plan
FM-A1.3	Reflected Ceiling Plan
FM-A1.4	Roof Plan
FM-A2.1	Enlarged Floor Plan
FM-A3.1	Building Elevations
FM-A3.2	Building Elevations
FM-A4.1	Building Sections
FM-A5.1	Wall Sections
FM-A7.1	Door Schedule
FM-A8.1	Interior Elevations
M3.1	Plumbing New Work Plan
M3.2	Sheet Metal New Work Plan
E3.1	Electrical New Work Plan
LJ.1	Electrical New Work I fall
	Ticket Booth
TD A1	
TB-A1	Floor Plan, Foundation Plan, Reflected Ceiling Plan, Roof Plan and Structural Notes
TB-A2	Building Elevations and Sections
TB-A3	Wall Sections and Details
M4.1	Mechanical New Work Plan (Splash Park)
M4.2	Mechanical New Work Plan
E4.1	Electrical New Work Plans (Splash Park)
	Renovated Restroom Building
RRB-D1	Demolition Floor Plan and Demolition Reflected Ceiling Plan
RRB-D2	Demolition Building Elevations
RRB-A1	Floor Plan and Reflected Ceiling Plan
RRB-A2	Door and Finish Schedule
RRB-A3	Building Elevations
RRB-A4	Building Sections
	Wall Sections
RRB-A5	
RRB-A6	Interior Elevations
RRB-A7	Interior Elevations
MD5.1	Mechanical - Demolition Plan

M5.1	Plumbing New Work Plan
M5.2	Sheet Metal New Work Plan
ED5.1	Electrical Demolition Plan
E5.1	Electrical New Work Plan

## BID PROPOSAL FORM (Section revised June 29, 2017 as part of Addendum #1)

## **Project:**

City of Sterling Heights Parks & Recreation Dodge Park Improvements

## Owner:

City of Sterling Heights 40555 Utica Road Sterling Heights, MI 48313

## **SUBMITTING CONTRACTOR:**

(Name)	
(Address 1)	
(Address 2)	
(Telephone)	(Fax)
(email)	(Date)
	July 11, 2017 by the City of Sterling Heights City Clerk's Office.
	July 11, 2017 in the City of Sterling Heights Council Chambers.
TOTAL BASE BID AMOUNT:	
collusion with any persons bi described herein and the condi he/she has carefully examined sufficient for the purpose, and	hereby declares this bid is made in good faith without fraud or idding, and that he/she is familiar with the location of the work itions under which it must be completed. He/she also declares that the Contract Documents which he/she understands and accepts as agrees that he/she will contract with the Owner to furnish all labor, t necessary to do all the work specified and prescribed herein and refore the sum of:
	Dollars.
	(Sum to be written out)
\$	

BID PROPOSAL FORM Page 1 of 11

## ADDENDA:

The	Bidder ac	knowledges	the follow	ing Addend	a, covering	revisions t	the d	rawings	or	
spec	ifications	and the cost,	, if any, of	such revision	ons has been	n included	in the c	uoted p	rop	osal:

Addendum No.	Dated
Addendum No.	Dated

## **BID BREAKDOWN:**

Provide itemized pricing as outlined on the following pages. The values of the items are to be included in your base bid.

BID PROPOSAL FORM Page 2 of 11

NO.	ITEM DESCRIPTION	QTY	UNIT	UNIT PRICE	AMOUNT
	SITE IMPROVEMENTS				
1.	Remove Concrete	3600	SYD		
2.	Remove Curb and Gutter	4250	LF		
3.	Remove Handicap Parking Sign	17	EA		
4.	Remove Light Pole	17	EA		
5.	Remove Pavilion - small	2	EA		
6.	Remove Pavilion - large	2	EA		
7.	Remove Tree - 6"-12" Diameter	35	EA		
8.	Remove Tree - 12"-24" Diameter	18	EA		
9.	Remove Tree - 24"-36" Diameter	4	EA		
10.	Remove Asphalt	2,300	SY		
11.	Remove DTE and Water Hookup	12	EA		
12.	Remove Electrical Post	2	EA		
13.	Remove Electrical Panel and Canopy	1	EA		
14.	Remove Volleyball Poles	6	EA		
15.	Remove Horseshoe Pit	2	EA		
16.	Remove Bench	3	EA		
17.	Remove Hose Bib at Pavilions	2	EA		
18.	Remove Swing Sets	2	EA		
19.	Remove Jungle Gym	1	EA		
20.	Remove Basketball Court including Fence and Lighting	1	EA		
21.	Remove Chain Link Fence	20	LF		
22.	Pulverize Ex. Asphalt	17,200	SYD		
23.	HMA, 1100L (2")	2,800	TONS		
24.	HMA, 1300T (2")	2,800	TONS		
25.	21AA Crushed Concrete, Aggregate Base (C.I.P.)	1,075	CY		
26.	Fill, Pulverized Material, Parking, Drive, and Path	23,750	SYD		
27.	Subgrade Preparation	23,750	SYD		
28.	6" Concrete Curb and Gutter 'A'	675	LF		
29.	6" Concrete Curb and Gutter 'B'	3,510	LF		
30.	4" Concrete Sidewalk	21,750	SF		
31.	Handicap Parking Sign	17	EA		
32.	Pavement Markings	1	LS		
33.	Fill	1,000	CY		
34.	Excavation	1,000	CY		
35.	Subgrade Undercut	250	CY		
36.	Mass Grading	1	LS		

BID PROPOSAL FORM

37.	12" C-76, Class IV, Storm Sewer Pipe	501	LF	
38.	Connect to Ex. Storm Manhole	4	EA	
39.	4' Dia. Catch Basin with 2' Sump	4	EA	
40.	Replace Structure Cover, Beehive	1	EA	
41.	Adjust Ex. Storm Structure RIM	7	EA	
42.	8" PVC, SCH 40, Storm Sewer	42	LF	
43.	6" PVC, SCH 40, Sanitary Sewer	706	LF	
44.	Sanitary Cleanout	9	EA	
45.	Sanitary Sewer Tap/Connection	4	EA	
46.	Adjust Ex. Sanitary Structure RIM	4	EA	
47.	Sanitary Manhole	2	EA	
48.	10" PVC Truss, Sanitary Sewer	212	LF	
49.	Directional Drill 10" Sanitary Sewer	47	LF	
50.	1" Type 'K' Copper Building Service	560	LF	
51.	Relocate 6" Hydrant Assembly	1	EA	
52.	1" Stop Box	4	EA	
53.	Water Main Connection	6	EA	
54.	Adjust Ex. Water Main Structure RIM	1	EA	
55.	8" Tapping Sleeve, GV in Well	2	EA	
56.	6" Hydrant Assembly	1	EA	
57.	6" D.I. CL54 Water Main	22	LF	
58.	8" D.I. CL54 Water Main	534	LF	
59.	Directional Drill 8" Water Main	43	LF	
60.	Soil Erosion, Silt Fabric Fencing	2,100	LF	
61.	Soil Erosion, Inlet Filter	28	EA	
62.	Soil Erosion, Temporary Crushed Concrete Drive	175	SYD	
63.	Traffic Control	1	LS	
64.	Volleyball Sand	815	CY	
65.	#57 Gravel, Volleyball court base	407	CY	
66.	Volleyball Subsurface Drainage System	1	LS	
67.	Volleyball Edging	533	LF	
68.	#8 Pea Gravel, Volleyball Edge	4	CY	
69.	Volleyball Net System	4	EA	
70.	Soccer Kickboards	1	LS	
71.	Soccer Protection Netting	1	LS	
72.	Soccer Goals	2	EA	
73.	Soccer Synthetic Turf and Base	1	LS	
74.	Soccer Subsurface Drainage System	1	LS	
75.	Concrete Curb at Soccer	382	LF	
76.	Swivel Grate ADA Grille	4	EA	

Park Landscape Wall	275	LF	
Park Fence Wall	300	LF	
Park Fence Piers	15	EA	
Park Steel Fence	285	LF	
Park Steel Fence Gates	4	EA	
Park Seat Wall	204	LF	
Park Synthetic Landscape Turf	2,570	SF	
ark Grille	4	EA	
al / Ash Bin	4	EA	
rce Removable Bollard	5	EA	
rce Fixed Bollard	3	EA	
e Pits	2	EA	
hoe Pits	2	EA	
e Parking Lot Light	12	EA	
arking Lot Light	8	EA	
ourt Light	8	EA	
y Bollard Light	5	EA	
ctrical Panel re-fed	1	EA	
al Post reconnected	5	EA	
s Market / Market Plaza Decorative 8" te	9,600	SF	
s Market / Market Plaza Decorative 6" te	20,065	SF	
s Market / Market Plaza Decorative 4" te	5,690	SF	
ape Wall at Market Plaza	132	LF	
ideo / Audio Recording of Project Area	1	LS	
ape '			

**Site Improvements Subtotal** 

BID PROPOSAL FORM Page 5 of 11

	LANDS	CAPING					
`	KEY	BOTANICAL NAME	COMMON NAME	SIZE	QTY	UNIT PRICE	AMOUNT
		DECIDUOUS TREES					
1.	AS	Acer S. 'Majesty'	Majesty Sugar Maple	3" BB	4		
2.	AK	Acer P. 'Crimson King'	Crimson King Maple	3" BB	6		
3.	AR	Acer Rubrum	Red Maple	3" BB	3		
4.	ARM	Acer Rubrum (Multi-stem)	Red Maple (Multi-Stem)	3" BB	14		
5.	ARA	Acer R. 'Armstrong'	Armstrong Red Maple	3" BB	10		
6.	ТВ	Tilia Cordata 'Boulevard	Boulevard Linden	3" BB	11		
7.	TC	Tilia Cordata	Littleleaf Linden	3" BB	3		
8.	QR	Quercus Rubra	Red Oak	3" BB	4		
9.	QB	Quercus Bicolor	Swamp White Oak	3" BB	15		
10.	СВ	Carpinus Betulus 'Fastigiata'	Pyramidal European Hornbeam	3" BB	20		
11.	ZS	Zelcova Serrata	Japanese Zelkova	3" BB	13		
12.	СО	Celtis Occidentalis	Hackberry	3" BB	2		
13.	СС	Cercis Canadensis	Eastern Redbud	8' BB	1		
14.	AB	Aescolus X.C. 'Brioti'	Brioti Red Horse Chesnut	2" BB	9		
15.	AC	Amelanchier Canadensis	Shadlow Serviceberry (Multi-Stem)	8' BB	8		
16.	MF	Malus Floribunda	Japanese Flowering Crabapple	2" BB	7		
17.	MS	Malus Sargentii	Snowdrift Crabapple	2" BB	11		
		SHRUBS					
18.	SK	Syringa Patula 'Miss Kim'	Miss Kim Dwarf Lilac	3' BB	15		
19.	RKP	Rosa X. 'Pink Kin'	Pink Knock-Out Rosa	3' BB	19		

BID PROPOSAL FORM Page 6 of 11

20.	RK	Rosa X. 'Osa Easy Double Red'	Osa Easy Double Red Rose	#5 cont.	77
21.	НА	Hydrangea A. Annabelle	Border Forsynthia	#3 cont.	8
22.	RA	Ribes Alpinum	Alpine Currant	#3 cont.	75
23.	VC	Viburnum Carlesii	Koreanspice Viburnum	3 1/2' BB	1
24.	VM	Viburnum P.T. 'Mariesii'	Mariesi Doublefile Viburnum	3 1/2' BB	15
25.	VMK	Viburnum X.B. 'Mohawk'	Mohawk Viburnum	3 1/2' BB	13
26.	SG	Spiraea X.B. Bumalda 'Goldflame'	Goldflame Spirea	#3 cont.	238
27.	HS	Hibiscus S. 'Aphrodite'	Aphrodite Althea	#3 cont.	2
28.	RAG	Rhus Aromatica 'Gro-Low'	Gro-Low Fragrant Sumac	#5 cont.	168
29.	ВР	Berberis T. 'Rose Glow'	Rose Glow Barberry	#3 cont.	9
30.	LV	Ligustrum X. Vicaryi	Vicary Privet	#5 cont.	36
		EVERGREENS			
31.	BW	Buxus 'Green Velvet'	Green Velvet Boxwood	18" BB	55
32.	TD	Taxus X.M. 'Densiformis'	Densiformis Yew	24"- 30" BB	26
33.	TE	Taxus X.M. 'Everlow'	Everlow Yew	24"- 30" BB	102
34.	ТО	Thuja Occidentalis 'Hetz Midget'	Hetz Midget Arborvitae	#5 cont.	34
35.	ACW	Abies Concolor (8')	Concolor White Fir	8' BB	9
36.	ACWL	Abies Concolor (10')	Concolor White Fir	10'BB	3

BID PROPOSAL FORM Page 7 of 11

37.	PS	Pinus Strobus (8')	Eastern White Pine	8' BB	16	
38.	PSL	Pinus Strobus (10')	Eastern White Pine	10'BB	12	
39.	PA	Picea Abies (8')	Norway Spruce	8' BB	21	
40.	PAL	Picea Abies (10')	Norway Spruce	10'BB	13	
		PERENNIALS AND GRASSES				
41.	РАН	Pennisetum Alopecuroides 'Hamelin'	Dwarf Fountain Grass	#3 cont.	40	
42.	MSM	Miscanthus Sinensis 'Morning Light'	Morning Light Japanese Silver Grass	#5 cont.	7	
43.	NEP	Nepeta X. Faasseni 'Walkers Low'	Walkers Low Catmint	#1 cont.	13	
44.	DLY	Hemerocallis 'Happy Returns'	Happy Returns Daylily	#1 cont.	145	
45.	HOS	Hosta 'Patriot'	Patriot Hosta	#1 cont.	68	
46.	SB	Spiraea X.B. 'Anthony Waterer'	Anthony Waterer Spiraea	#5 cont.	96	
47.	SED	Sedum Spectabile 'Neon'	Neon Sedum	#1 cont.	72	
		LANDSCAPING MATERIALS		QTY	UNIT	
48.		Sod		6,800	SYD	
49.		Hydroseed		21,000	SYD	
50.		Cobblestone		24	TON	
51.		Mulch		96	CYD	
52.		Edging		1,500	LF	
53.		Top Soil		50	CYD	
54.		Irrigation		1	LS	
			Landsoning Subtatal			

Landscaping Subtotal

BID PROPOSAL FORM Page 8 of 11

	ITEM DESCRIPTION	QTY	UNIT	UNIT PRICE	AMOUNT
	STRUCTURES				
1.	Pavilion #1	1	LS		
2.	Pavilion #2	1	LS		
3.	Pavilion #3	1	LS		
4.	Pavilion #4	1	LS		
5.	Pavilion #5	1	LS		
6.	Splash Park Ticket Booth	1	LS		
7.	Renovated Restroom Building	1	LS		
8.	Farmers Market	1	LS		
9.	Seasonal Ice Rink	1	LS		
10.	Amphitheater	1	LS		
11.	Parks and Recration Building Demolition	1	LS		
12.	Permit Fees	1	LS		\$10,000.00

Structures Subtotal	
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## **ALTERNATES:**

Alternate #1 – Provide and Install 2" underground conduit from Restroom Building to Bridg
Alternate #1 will increase the Total Base Bid Amount By:
Alternate #2 – Provide and Install eight (8) bridge lights
Alternate #2 will increase the Total Base Bid Amount By:

## RIGHT TO ACCEPT, TO REJECT, AND TO WAIVE DEFECTS

The Owner reserves the right: 1) To award bids received on the basis of individual items, or groups of items, or on the entire list of items, (2) To reject any or all bids, or any part thereof, (3) To waive any irregularity in the bids, (4) To accept the bid that is in the best interest of the City, (5) To reduce or eliminate this purchase without prior notice, (6) To split the award to realize the greatest cost savings, (7) To issue Post-Bid Addendums to clarify or request additional information, including pricing, (8) To require one or more selected bidders to perform the requested service on a trial basis, at the unit prices bid, as evidence of a bidders ability to satisfactorily perform the requested service, prior to a formal recommendation and approval by City Administration / City Council.

### **ACKNOWLEDGMENT:**

The Undersigned agrees that if this proposal in accepted by the owner, he will furnish the required bonds and insurance and execute the contract within fourteen (14) days after notice of the award of the contract is mailed to him by the owner.

The owner reserves the right to reject any or all bids and to waive any irregularities in bidding. No bid may be withdrawn after the scheduled closing time for receiving bids for at least ninety (90) calendar days. Work shall commence on or prior to August 14, 2017 and be completed on or prior to June 18, 2018. Anticipated contract award date is August 1, 2017. Failure to complete contractual work within the times mentioned herein shall result in the contractor paying Liquidated Damages for each and every calendar day the contractor shall be in default as contained herein under Liquidated Damages.

The award of the contract will be based on the low bid submitted. However, the Owner reserves the right to accept any proposal or reject all bids, and to waive any defects or irregularities in the bids if it appears advantageous to the Owner to do so. In addition, the owner, at his sole discretion, reserves the right to award to the Bidder who, in the sole determination of the owner, will best serve the interest of the owner. The project will not be awarded by separate contracts.

The bidder shall indicate his/her legal status in the appropriate location below:

### **LEGAL STATUS OF BIDDER:**

BID PROPOSAL FORM

Sterling Heights Parks & Recreation
Dodge Park Improvements

DMA #16078A

Signed and Sealed this	day of	, 2017
Authorized Signature o	f Bidder:	
(Print Name)		
(Title)		